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AGENDA

Committee PLANNING COMMITTEE

Date and Time of Meeting WEDNESDAY, 16 OCTOBER 2019, 1.30 PM

Venue COMMITTEE ROOM 4 - COUNTY HALL

Membership Councillor Jones (Chair)
Councillors Lay, Ahmed, Asghar Ali, Driscoll, Gordon, Hudson,
Jacobsen, Jones-Pritchard, Keith Parry and Sattar

1 Apologies for Absence

2 Minutes

To approve as a correct record the minutes of the meeting held on 18 September 2019.

3 Declarations of Interest

To be made at the commencement of the agenda item in question, in accordance with the Members Code of Conduct.

4 Petitions

Petitions have been received in relation to the following applications in accordance with Committee Meeting Procedural Rule 14.2. The petitioners have been advised of their right to speak and the applicants/agents of their right to reply:

Application no, 19/01426/MNR, St David's Hotel & Spa, Havannah Street, Butetown

Application no, 19/01339/MNR, 238 Pantbach Road, Rhiwbina

Application no, 19/01752/MNR, Ty Newydd, Heol Goch, Pentyrch

5 Development Control Applications

a 19/01426/MNR, St Davids Hotel & Spa, Havannah Street, Butetown

b 19/01331/MJR, Lozelles, Church Road, Lisvane

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This document is available in Welsh / Mae'r ddogfen hon ar gael yn Gymraeg

- c 19/01339/MNR, 238 Pantbach Road, Rhiwbina
- d 19/02214/MNR, 82 Cathays Terrace, Cathays
- e 19/02126/DCH, 1 The Fairway, Cyncoed
- f 19/01749/MNR, 20 May Street, Cathays
- g 19/01752/MNR Ty Newydd, Heol Goch, Pentyrch
- h 19/02232/MNR, 5 May Street, Cathays
- 6 Applications decided by Delegated Powers - September 2019**
- 7 Urgent Items (if any)**
- 8 Date of next meeting - 20 November 2019**

Davina Fiore

Director Governance & Legal Services

Date: Thursday, 10 October 2019

Contact: Kate Rees, 029 2087 2427, krees@cardiff.gov.uk

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PLANNING COMMITTEE

18 SEPTEMBER 2019

Present: Councillor Jones(Chairperson)
Councillors Ahmed, Asghar Ali, Driscoll, Gordon, Hudson,
Jacobsen, Jones-Pritchard and Sattar

1 : APOLOGIES FOR ABSENCE

Councillors Goddard and Lay

2 : MINUTES

The minutes of the meeting held on the 14 August 2019 were approved as a correct record and signed by the Chairperson.

3 : DECLARATIONS OF INTEREST

COUNCILLOR	ITEM	REASON
Asghar Ali	51 Llantrisant Street, Cathays	Owns property in the street
Iona Gordon	32 Cathedral Road	Objected to previous application
Iona Gordon	199/01370/MNR	Made a negative comment about McDonalds
Jacobsen	18/0128/MNR	Ward Councillor (objecting)
Jones-Pritchard	19/02031/DCI	Personal

4 : MEMBERSHIP

The Committee noted that at the Council meeting of the 12 September 2019 approved that Councillor Susan Goddard be appointed to this Committee.

5 : PETITIONS

Petitions have been received in relation to the following applications in accordance with Committee Meeting Procedural Rule 14.2. The petitioners have been advised of their right to speak and the applicants/agents of their right to reply:

- (i) 19/01370/MNR, Former The TyGlas, 75 Glas Avenue, Llanishen
- (ii) A/19/00057/MNR, Former The Ty Glas, 75 Ty Glas Avenue, Llanishen
- (iii) A/19/00058/MNR, Former The Ty Glas, 75 Ty Glas Avenue, Llanishen
- (iv) A/19/00059/MNR, Former The Ty Glas, 75 Ty Glas Avenue, Llanishen
- (v) 18/01028/MJR, 56 Wern Goch West, Llanedeyrn
- (vi) 18/02601/MJR, 32 Cathedral Road, Pontcanna
- (vii) 19/02178/DCH, Sycamore Lodge, Gabalfa Road, Llandaff North

In relation to (iv) the Petitioner spoke the Applicant/Agent did not respond.

6 : DEVELOPMENT CONTROL APPLICATIONS

The Committee considered the schedule of development control applications submitted in accordance with the Town & Country Planning Act 1990:

RESOLVED: That pursuant to this Committee's delegated powers the following development control applications be determined in accordance with the recommendations as set out in the report of the Director of Planning, Transport and Environment subject to any further amendments as detailed below and notification be given of the decisions in accordance with Section 70 of the Town & Country Planning Act 1990 or Section 16 of Section 74 of the Planning (Listed Building & Conservation Act 1990).

APPLICATIONS GRANTED

19/00998/MNR – LISVANE

WESTWINDS, 4 HEOL Y DELYN

Demolition of the existing 5-bed detached bungalow and outbuildings and erection of 1 no, 4-bed detached house and 2 no 4 bed semi-detached houses, one double garage and rear garden rooms.

19/01938/MNR – CATHAYS

LIDL FOODSTORE, MAINDY ROAD

Variation of Condition 4 of 12/01620/DCI to vary loading times to the following: There shall be no arrival, departure, loading or unloading of delivery vehicles between the hours of 2200 and 0800 Monday to Saturday, deliveries to be permitted on a Sunday only between 1000 and 1600.

Subject to an amendment to Condition 3 to read:

'The arrival, departure, loading or unloading of delivery vehicles shall only occur between the hours of 08:00 and 22:00 Monday to Saturday, and on a Sunday between 10:00 and 16:00, and the number of vehicle deliveries on a Sunday shall be limited to two vehicles per day. Deliveries on a Sunday shall only be limited to two vehicles per day. Deliveries on a Sunday shall only be permitted for a temporary period of 6 months from the date of the permission hereby granted. For the avoidance of doubt, vehicle deliveries on a Sunday will cease following the expiration of 6 months from the date of this permission.

19/02031/DCH – WHITCHURCH

9 KELSTON ROAD

Hip to gable extension with rear dormer, single storey rear extension.

19/02178/DCH – LLANDAFF NORTH

SYCAMORE LODGE, GABALFA ROAD

Variation of Condition 2 to substitute drawings previously approved under 17/02612/DCH

Subject to:

'An additional condition regarding the removal of Permitted Development rights regarding extensions and roof alterations'

Subject to an additional Condition 2 to read:

'Notwithstanding the provisions of Classes A, B and C of Part 1, Schedule 2 of the Town and Country Planning (General Permitted Development) (Amendment) (Wales) Order 2013 (or any Order amending, revoking or re-enacting that Order) no further extensions or alterations shall be undertaken to the property other than those hereby approved.

A/19/000057/MNR – LLANISHEN

FORMER THE TY GLAS, 75 TY GLAS AVENUE
Installation of 4 no fascia signs

A/19/000058/MNR – LLANISHEN

FORMER THE TY GLAS, 75 TY GLAS AVENUE
The installation of 1 no free standing 6m totem sign

A/19/000059/MNR – LLANISHEN

FORMER THE TY GLAS, 75 TY GLAS AVENUE
Installation of site signage including, 4 no freestanding signs, 1 no banner sign and 18 no dot signs.

Subject to:

'Split Decision – Banner to be removed for amenity reason'

Recommendation 1: that Advertisement Consent be granted for the Installation of site signage comprising '4 no. Freestanding Signs' and '18 no. Dot Signs' subject to the following conditions:

1. C03 – Statutory Time Limits – Advertisements
2. The consent relates to the following approved plans:
 - 7763-SA-8061-P008 E – Site Layout Plan Site Signage (excluding 'Double Sided Banner Unit)
 - Generic - 10MPH Disc
 - Sign Type 24 – Litter Sign
 - Sign Type 24 – Parked Order Bay 1
 - Sign Type 24 – Parked Order Bay 2
 - Sign Type 25 – Give Way
 - Sign Type 25 – No Entry

- Sign Type 25 – Pedestrian Crossing
- Caution Look Left/Right Traffic Approaching
- 877779A Page 2/3 – Sign 1 – Double Digital Menu Board
- 877779A Page 3/3 – Sign 2 – Single Digital Menu Board

Reason: For the avoidance of doubt to the extent of the consent granted.

Recommendation 2: That Advertisement Consent be refused for the installation of site signage comprising '1 no Banner Sign' for the following reasons:

1. The proposed sign is of an inappropriate size and design for the area and would result in a proliferation of advertisements detracting from the visual amenity of the area contrary to advice within Technical Advice Note 7 (Outdoor Advertisement Control)
2. The refusal of consent relates to the following plans:
 - 7763-SA-8061-P008 E – Site Layout Plan Site Signage (so far as it relates to the 'Double Sided Banner Unit')
 - McD/038/2016 – Erdds Banner Unit

Reason: For the avoidance of doubt to the extent of the refusal of consent.

Recommendation 3: The applicant be advised that the use of the Welsh Language is encouraged where possible and consideration should be given to bilingual signage.

18/02601/MJR – RIVERSIDE

32 CATHEDRAL ROAD

Conversion of 32 Cathedral Road from B1 office to 17 C3 residential units including demolition and replacement of rear extension; landscaping; car parking; access and associated ancillary works.

18/02602/MJR – RIVERSIDE

32 CATHEDRAL ROAD

Demolition of rear extension – Conservation Area Consent.

APPLICATIONS GRANTED ON EXECUTION OF A PLANNING OBLIGATION UNDER SECTION 106 OF THE TOWN AND COUNTRY PLANNING ACT 1990:

18/01028/MJR – PENTWYN

56 WERN GOCH WEST

Proposed demolition of existing shop and 56 Wern Goch West and erection of new build development to form 11 flats.

19/00016/MJR – CANTON

637 COWBRIDGE ROAD EAST

Demolition of existing car showroom building, relocation of existing accesses, erection of four/five storey building to comprise 23no. One and two bedroom affordable housing apartments at 1st, 2nd, 3rd and 4th floor, landscaping and ancillary works.

Subject to an amendment to Condition 6 to read:

‘Prior to occupation of the flats hereby approved, undercover and secure cycle storage shall be provided to accommodate at least 27 cycles in accordance with drawing numbered A-00-100E and an additional cross-sectional drawing showing level access to the cycle parking from the highway has been submitted to and approved by the Local Planning Authority. The cycle parking and approved access shall thereafter be retained.

Subject to an amendment to Condition 24 to read:

‘Prior to construction (excluding demolition) information to the proposed vehicle strategy for the ground floor area and details of an amended crossover junction between the site the highway shall be submitted to and approved in writing by the Local Planning Authority to include (as necessary) details of any bollards, surfacing improvements, clearance from the building above, amended crossover and reinstatement of footway. Those details shall be implemented prior to the development being put into beneficial use.

Subject to an amendment to Condition 25 to read:

‘The ground floor area shall not be used for parking of resident’s vehicles’

19/01370/MNR – LLANISHEN

FORMER THE TY GLAS, 75 TY GLAS AVENUE

Reconfiguration of the wider site including parking and patio layout, installation of wrap around drive-thru lane and the inclusion of a back of house corral storage area and associated works to the site. Installation of 2no COD (Customer Order Display) and goal post height restrictor. Alterations to the elevations including new entrance door and drive-thru booths, new plant equipment to the roof.

APPLICATIONS REFUSED

19/01722/MNR – CATHAYS

51 LLANTRISANT STREET

Alterations and change of use from C3 to C4, 6 bedroom house in multiple occupation.

7 : APPLICATIONS DECIDED BY DELEGATED POWERS - AUGUST 2019

Noted

8 : URGENT ITEMS (IF ANY)

None

9 : DATE OF THE NEXT MEETING - 16 OCTOBER 2019

The meeting terminated at 6.40 pm

LOCAL MEMBER OBJECTION, AM OBJECTION, MP OBJECTION & PETITION

COMMITTEE DATE: 16/10/2019

APPLICATION No. **19/01426/MNR** APPLICATION DATE: 10/05/2019

ED: **BUTETOWN**

APP: TYPE: Full Planning Permission

APPLICANT: The City Zip Company Limited

LOCATION: ST DAVIDS HOTEL & SPA, HAVANNAH STREET,
CARDIFF BAY, CARDIFF, CF10 5SD

PROPOSAL: PROPOSED TEMPORARY ZIP LINE DEVELOPMENT FOR
A PERIOD OF 6.5 MONTHS (30 CALENDAR WEEKS)
FROM THE ROOF OF ST DAVID'S HOTEL, HAVANNAH
STREET, CARDIFF CF10 5SD TO LAND ADJACENT TO
THE NORWEGIAN CHURCH (WATERFRONT
PARK / BRITANNIA PARK), HARBOUR DRIVE` CARDIFF
BAY

RECOMMENDATION 1 : That planning permission be **GRANTED** subject to the following conditions :

1. Construction of the zip wire and associated structures must not commence prior to 25 February 2020 and all structures must be removed from site by 11 October 2020.

Reason : To protect the character and setting of Cardiff Bay.

2. The use, hereby permitted, shall only be operational between the 24 March 2020 and 27 September 2020 and thereafter the development, inclusive of the zip wire and all associated structures, shall be removed from the land before the 11 October 2020.

Reason : To protect the character and setting of Cardiff Bay.

3. The zip wire shall only be operational between the following hours:

- Monday – Friday: 11.00 to 18.00;
- Saturday and Sundays: 09.00 to 19.00

Reason : In the interests of the amenity of residents in the vicinity of the site in accordance with Policies KP5 and EN13 of the Cardiff Local Development Plan 2006-2026.

4. No amplified music, which is audible at the nearest residential property, shall be played within the red line boundary of the site.

Reason : In the interests of protecting the amenity of residents in the vicinity of the site in accordance with Policies KP5 and EN13 of the Cardiff Local Development Plan 2006-2026.

5. The use of electrical generators is not permitted anywhere within the red line boundary of the site.

Reason : In the interests of protecting the amenity of residents in the vicinity of the site in accordance with Policies KP5 and EN13 of the Cardiff Local Development Plan 2006-2026.

6. The development shall be carried out in accordance with the following approved plans and details unless otherwise expressly required by the ensuing Conditions.

- CBZ / 001 – REV 1 – Site Location Plan – Aug 2019
- CBZ / 002 – REV 2 – Block Plan - Sept 2019
- CBZ / 003 – REV 2 – Existing Site Layout - Sept 2019
- CBZ / 004 – REV 2 – Proposed Site Layout - Sept 2019
- CBZ / 005 – REV 1 – Proposed Elevation of Launch Site – Aug 2019
- CBZ / 008 – Proposed Long Section - Sept 2019
- CBZ / 009 – REV 1 – Proposed Elevation of Landing Site – Aug 2019
- CBZ / 010 – REV 1 – Customer Route and Nominated Viewing Areas - Aug 2019
- CBZ / 012 – Proposed Elevation of Landing Site – Sept 2019
- CBZ / 013 – Proposed Elevations of Ancillary Buildings – Finish – Sept 2019

Reason : To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.

7. Prior to beneficial use of the development, hereby approved, a privacy screen shall be erected along the top floor north elevation of the St David's Hotel in accordance with drawing ref: CBZ /005 – REV 1 and thereafter retained at all times.

Reason : Protection of Residential amenity and privacy.

8. Notwithstanding the approved plans, prior to their installation the external finish of the 'cabins', and all means of enclosure, shown on drawings no. and CBZ /012 and CBZ / 013 shall be approved by the Local Planning Authority and the development implemented in accordance with the approved details prior to beneficial use of the development

Reason : In the interests of the character and appearance of the area in accordance with Policy KP5 of the Cardiff Local Development Plan 2006-2026.

9. The temporary buildings, hereby approved, shall be provided with a 150 mm air gap beneath each structure, protected by mesh to keep out litter,

and any service entry points shall be sealed.

Reason: To prevent the build-up of landfill gas and to ensure that the safety of future occupiers is not prejudiced in accordance with Policy EN13 of the Cardiff Local Development Plan 2006-2026.

RECOMMENDATION 2: The applicant is advised to liaise with Natural Resources Wales regarding a Marine Licence as soon as possible and should inform Cardiff Harbour Authority of the outcome of this process.

RECOMMENDATION 3: The applicant is advised to contact Strategic Estates as soon as possible regarding necessary requirements to operate on Strategic Estates land.

RECOMMENDATION 4: The applicant is advised that the set-up and de-rig operations for the application are likely to require Highways licenses and/or arrangements with the Highways Authority and the applicant is advised to contact Cardiff Council Highways as soon as possible.

1. **DESCRIPTION OF SITE AND PROPOSED DEVELOPMENT**

- 1.1 It is proposed to erect a zip wire ride across part of Cardiff Bay from the St David's Hotel to a landing site positioned close to the Norwegian Church.
- 1.2 The zip wire extends for around 350m consisting of thin wires with no interaction with the ground except for the launch pad and landing tower. The key areas therefore are where the riders are proposed to enter and exit the zip wire, where associated structures and impact on the surrounding area will be most experienced.
- 1.3 To the west, the launch pad for the zip wire is positioned on top of the St David's Hotel. Outside of the hotel, a small cabin serving as a *Reception and Safety Area* is proposed in the event that the developer cannot agree a suite to hire within the hotel itself (which is the applicant's preferred intention). The purpose of this cabin is to brief riders on the forthcoming ride. There is relatively minimal infrastructure atop the hotel, and revised plans provide a privacy screen to prevent riders from viewing the closest properties while they wait to depart. This screen consists of a lightweight skrim/mesh in white finish, successfully obscuring views from the top of the hotel, whilst preventing the screen acting as a sail in high winds.
- 1.4 Having completed the transfer across the Bay, riders would disembark close to the Norwegian Church, on the hard standing near the public space known as Britannia Park. The proposed infrastructure at this location is more substantial than at the launch site; consisting of a 20m high landing tower, associated ballast and fencing, and two cabins situated in an 'L' shape for debriefing, removal of kit, as well as a staff rest area. The landing area is owned and maintained by Cardiff Council. The final design of the cabins and fencing surrounding the tower will be subject to a pre-commencement condition (Condition 8) and the agreement of the final appearance drawings approved by Cardiff Council.
- 1.5 The zip line itself consists of two wires (four including safety lines). Riders will be attached to pulleys running on polyurethane wheels, which are designed to be quieter than those initially proposed, and which inform the Noise Survey.

2. **PLANNING HISTORY**

- 2.1 Given the unusual boundaries of the site, which spans Cardiff Bay, there is an extensive history of applications in the vicinity of the site. Focusing on those close to the points where the attraction is proposed to start and finish, notable recent applications include the following:

12/00394: Retention of floating Christian Centre at Britannia Park, Harbour Drive

12/01220: Installation of a temporary Ferris Wheel at Britannia Park, Harbour Drive.

13/00623: Installation of a temporary Ferris Wheel at Britannia Park, Harbour Drive.

13/01587: Discharge of Condition 13 (Public Art) at Land at Roath Basin

It should also be noted that this is one of numerous applications across Cardiff Bay seeking temporary consent for tourist industry structures, which is reflective of the nature of the area.

3. **POLICY FRAMEWORK**

- 3.1 Planning Policy Wales, Edition 10 (December 2018)

- 3.2 Technical Advice Notes (TANs)

TAN11: Noise

TAN12: Design

TAN13: Tourism

TAN16: Sport, Recreation and Open Space

TAN23: Economic Development

- 3.3 Cardiff Local Development Plan (January 2016)

KP5: Good Quality and Sustainable Design

KP8: Sustainable Transport

KP10: Central and Bay Business Areas

EN3: Landscape Protection

EN9 Conservation of the Historic Environment

EN13: Air, Noise, Light Pollution and Land Contamination

C4: Protection of Open Space

T5: Managing Transport Impacts

4. **INTERNAL CONSULTEE RESPONSES**

- 4.1 **Transportation**

No Objection. The submission has been assessed and is acceptable in principle. The location affords good access to existing on street, surface and multi-storey parking, along with convenient sustainable travel options by bus, rail, cycling and walking. The applicant is advised to contact Cardiff Highways department as soon as possible to discuss licenses and agreements for the set-up of the proposals. This is reflected in Recommendation 4

- 4.2 **Contaminated Land**

No objection. However, as the eastern most point of the site lies within 250m of former landfill sites, a condition is requested to be attached to any approval, requiring an air gap between the ground and any installations to prevent the build-up of any landfill gases. This is reflected in Condition 9

4.3

Ecology

No objection. Given the location of the proposed zip wire, and level of public concern regarding the impact on wildlife (see Section 7), the below ecologists comments are provided verbatim.

Because of its proximity to the Severn Estuary, the proposed development should be screened for any potential impacts upon the Severn Estuary Special Area of Conservation (SAC) and Special Protection Area (SPA), collectively known as the Severn Estuary European Marine Site (EMS), together with the Severn Estuary Ramsar Site. Competent authorities such as Cardiff Council have a statutory duty to undertake this screening, and subsequent assessment if necessary, in accordance with the Conservation of Habitats and Species Regulations 2017. This process is known as a Habitats Regulations Assessment or HRA.

Section 1.5.11 of the Ecology and Biodiversity Technical Guidance Note which forms part of the Green Infrastructure SPG, sets out the criteria we use to decide when to undertake a HRA screening. Looking at those criteria, the proposed development is not within the Severn Estuary EMS, nor is it in hydrological continuity with that site as it is raised some way above the ground and above the bay. It is not an industrial, mineral or larger housing development, nor is it an A2 or B installation. Therefore the only criterion which may be relevant is 'All land within 1000m of the boundary of a European site'.

In this context, I estimate that the launch pad is about 1100m from the Severn Estuary EMS boundary at its nearest point, but the landing area is about 900m from the boundary. Therefore on a precautionary basis I am satisfied that the proposed development should be subject to a Test of Likely Significance to determine whether an Appropriate Assessment is required, as part of the HA process.

This being the case, I have considered the Report to inform a Habitats Regulations Assessment undertaken by SLR Consulting.

The first conclusion of that report is that the proposed development is not likely to affect the Severn Estuary SAC. However this SAC includes the waterfowl assemblage as a sub-feature, and so as with the SPA below a likely significant effect should be assumed.

The second conclusion is that it is not possible to exclude likely significant effect upon the Severn Estuary SPA due to the uncertainty of the risk of collision between birds and the zip wires. The features of the Severn Estuary SPA (and sub-features of the SAC) are overwintering and migratory birds which inhabit the estuary and its foreshore habitats. Some of these birds may at times use the Cardiff Bay Wetland Reserve or the lower reaches of the Ely and the Taff. Therefore on a precautionary basis, a likely significant effect is assumed because these birds may collide with the zip wire lines, and an Appropriate Assessment is performed in order to determine whether the proposed project will have an adverse effect upon the integrity of the SPA/SAC.

For the purposes of the Appropriate Assessment we turn to the advice provided by Natural Resources Wales, the statutory advisor on nature conservation issues in Wales. Their view as set out in their letter of 10/06/19 is that the risk of collision of wetland birds with the zip wires is low, such that we are entitled to conclude that there will be no adverse effect on the integrity of the Severn Estuary SAC and SPA.

Therefore the outcome of the HRA process is that there will be no impact upon the Severn Estuary SAC or SPA, so there is no further need to consider any impacts of the proposed scheme upon these sites. The features of the Severn Estuary Ramsar site

overlap with those of the SAC and SPA, so if there is no impact upon these two sites then there can be no impact upon the Ramsar Site.

Concerns have been raised about the impacts of the proposed scheme upon the flora and fauna of the nearby Cardiff Bay Wetland Reserve (CBWR). The only conceivable effect that I can see is that of noise from the proposed scheme, as customers may scream as they leave the launch pad. In my view, the launch pad is about 45m in the air, and about 90m from the nearest point of the CBWR, making a straight line distance of over 100m, between the two. Over this distance occasional screams are likely to have dissipated before they could potentially disturb species such as birds in the CBWR. In addition, almost all of the reserve would be shielded from the launch pad by the structure of the St David's Hotel, plus any screams would be directed away from the reserve as the customers slide eastwards. Finally, the CBWR is in a highly urbanised area with existing background noise from traffic etc, so any additional noise from the occasional scream from zip wire customers is unlikely in my view to have a significant effect upon bird fauna which use it.

There may be a small risk of swans colliding with the zip wires at the Norwegian church end of the site, however this is an animal welfare issue which I am not qualified to comment upon.

If there are any nesting birds such as Gulls on the top of the St David's Hotel where the launch pad is to be constructed, then we should remind the applicant that all active bird nests are protected under the Wildlife and Countryside Act 1981: Part 1, 1(1)(b), whereby it is an offence to intentionally take, damage or destroy the nest of any wild bird while that nest is in use or being built.

4.4 **Parks Services**

No objection. No existing landscape features or regularly used areas of public open space will be impacted by the proposals. Following revisions, an observation was also made that the movement of additional pedestrian traffic will need to be carefully managed.

4.5 **Pollution Control.**

No objection. Given the level of public comment on noise matters, the comments are provided verbatim.

The report draws on experience from the previously built zip wire in Lambeth, London. The zip wire at this location is similar in scope although it has four lines crossing a park area as opposed to the two lines proposed to cross the water of Cardiff Bay. The noise assessment assumes a worst case scenario for the installation and use of the zip wire, in that there is assumed to be 48 riders an hour, the expected situation will be that the number of riders will actually be less, as it is not expected to operate at peak capacity.

I have considered the effect on residents and whilst the noise report does present the worst case scenario as described above I maintain that the nature of the expected noise is quite different than the background observed. The report states that no noise complaints have been received in regards to the zip wire in London, however it should be noted that the background noise in London will be different in nature and magnitude, and the hours of operation are different to what is proposed in Cardiff, including a period in the afternoon from 3pm until 4pm when the ride is closed to customers. Therefore in order to mitigate the impact to local residents conditions should be placed on any permission granted to restrict the hours of operation for customers to the hours suggested in the report:

Monday to Friday: 11:00 am to 18:00
Saturday and Sunday : 09:00 to 19:00

Furthermore conditions should be placed requiring the mitigation measures discussed in the report and by email to be required throughout the operation i.e. improved wheel bearings on the trolleys and the use of electrical supply rather than diesel generator.

4.6 **Economic Development:**

No Objection. Economic Development are supportive of the application, stating the following: *The Zip Line will be complementary to other key attractions within the bay such as the Senedd, Barrage, Wetland reserve, Pierhead building, Techniquet, Wales Millennium Centre, and the International Sports Village (swimming pool, twin pad ice rink, white water rafting) to name just a few, while also providing key footfall for bars, restaurants, retail, cinema etc in the area.*

5. **EXTERNAL CONSULTEE RESPONSES**

5.1 **Natural Resources Wales.**

No objection. They note the proposal is temporary for 30 weeks. They note the conclusions in the report to Inform Habitat Regulations Assessment Screening, but consider; *“The risk of [bird] collision is low and will not be sufficient to have any significant effect on population levels and therefore..do not consider that this temporary proposal is likely to cause an adverse effect on the integrity of the Severn Estuary SPA, RAMSAR or SAC”*

In respect of foul drainage, the applicant is reminded in terms of requirements for disposal of foul water. In respect of flood risk, the proposals are considered acceptable.

5.2 **South Wales Police.**

No objection. A number of recommendations were made in respect to designing out crime including measures to prevent access into the landing area outside of hours of operation. These included; the provision of a 3.4m high anti-climb fence, the removal of any climbing aids nearby, and the use of good quality locks.

5.3 **Cardiff Harbour Authority (CHA).**

No objection, with the following comments made *The Harbour Authority is not prevented by Section 33 of the Harbours, Docks, Piers and Clauses Act 1847 as amended and incorporated into the Cardiff Bay Barrage Act 1993, from imposing an exclusion zone under the wire where the height is below 33 metres Above Ordnance Datum (AOD)*

[The applicant is requested to] to install appropriate mitigation measures as required and determined by the Harbour Master to ensure an exclusion zone is in place where the wire is below a height of 33mtrs above Bay level at 4.65 AOD. The Dock walls in the location of the landing tower are listed structures therefore nothing is to be fixed into them. City Zip to confirm following discussion with NRW if a Marine Licence is required; if so the Marine Licence is to be submitted to CHA prior to the licence being granted by Cardiff Council. CHA have consulted with the Yacht Clubs and Marinas regarding this proposal to minimise the impact on navigation and ensure the maximum air draft clearance is obtained.

A licence is required from the Council for the use of Britannia Park for a landing tower and associated facilities. This is reflected in Recommendation 3.

6. REPRESENTATIONS

- 6.1 Three rounds of consultation have taken place. The initial consultation was in May 2019, based on the initial application to operate the zip wire in the summer of 2019. A second round of consultation following revised plans and operational dates, commenced in August 2019 and finally, following minor amendments, a two-week consultation period was held in September 2019.
- 6.2 Objections have been received from the local Councillor, local AM and local MP. The councillor for Butetown ward objects due to the detrimental impact on the homes in the surrounding area, concerns over local wildlife and noise pollution, and concerns over a lack of parking. The AM cites concerns over disturbance to neighbours, a lack of privacy, the hours of operation and the impact on green spaces. The MP objects, citing a negative impact on residents of the Ocean Reach development, both in terms of disturbance from the operation of the attraction, but also associated impacts from parking, traffic and an increased number of pedestrians. He also cites noise, disturbance and the impact on wildlife.
- 6.3 A petition of 63 names objecting to the proposals has been submitted under the following wording: *“We the undersigned, residents of Cardiff, are totally opposed to the proposed zip wire installation. We consider that the intrusive nature of the zip wire is such that the claimed benefits of the project would be completely outweighed by its impact on the Cardiff Bay Waterfront and the reputation that it currently enjoys throughout the world. Zip wires are appropriate in rural settings, and completely out of place in a highly acclaimed tourist centre like Cardiff Bay with its renowned water views and the centre of the Welsh Government.”*
- 6.4 Letters were initially sent to 100+ properties and six site notices were displayed. Following the revised plans in August 2019, a further 10 site notices were displayed, and the same properties notified as well as anyone who had submitted comments online. The same process was followed for the final consultation following revisions in September 2019. The proposals also attracted media coverage in the Welsh and UK media. In total, correspondence was received from more than 142 members of the public and local businesses.
- 6.5 Letters of objection numbered 62. The reasons for objections were varied and are summarised below. Typically, letters in opposition came from addresses relatively close to the proposals.
- Noise disturbance
 - Impact upon wildlife and birds
 - Impact on amenity and quality of life of neighbours
 - Impact upon car parking
 - Impact upon privacy of neighbours
 - Increase in pedestrian and vehicular traffic
 - Visual impact on landscape / views of Cardiff Bay
 - Operating hours / length of temporary period.
 - Development being out of character in Cardiff Bay
 - Concerns over use of drones and video cameras
 - Inadequate consultation / communication with local residents
 - Inaccurate or misleading information provided with planning application
 - Landing area scale of development
 - Zip wire company obtaining 56 letters of support via a templated letter
 - Impact upon the sailing and boating community

- Company selling tickets before planning permission being obtained
- Concerns over queues for the zip wire
- Impact upon the nearby Cardiff Bay wetlands reserve
- Concerns over light pollution
- Impact on the heritage / culture of Cardiff Bay
- Concerns over air pollution / Carbon footprint
- Devaluation of residential property prices nearby
- Lack of toilet facilities
- Concerns the application does not accord with planning policy
- Litter concerns
- Insurance concerns
- Concerns the hotel are not aware of the scheme
- Concerns over security of the site.

6.6 **Civic Society.**

Objection. Cardiff Civic Society objects to the application due to the height of the landing tower, which following revisions at 20m high will have a detrimental impact on the historic environment of the Norwegian Church. In addition, concerns are raised in respect of the impact on the waterfront area for pedestrians, danger to wildlife and the length of the temporary period.

6.7 **Welsh Norwegian Society.**

Objection. The Welsh Norwegian Society object on the grounds that the church is an iconic landmark at a prominent and visible point of Cardiff Bay, and consider that the landing tower will undermine the view of the church

6.8 **Yachting Associations**

Objections were also received from the Cardiff Yacht Club and the Royal Yachting Association, citing a lack of consultation, the precedent of boats having some access restricted, the economic impact of larger boats being restricted and navigation safety. An emphasis was made that this proposal should be subject to a Marine Licence, which is outside of the planning process, although reflected in Recommendation 2.

6.9 82 letters and emails in support of the application were received. It should be noted that 75 of which were signatories to a template letter collected by the applicant. Several letters in support were from local businesses, emphasising the proposed economic benefits of the scheme. Several people acknowledged concerns regarding noise or traffic, but felt that the application addressed these issues in a satisfactory manner. In summary, the letters in support focused on the following issues:

- Perceived economic benefit of the scheme
- The creation of an additional tourist attraction
- New employment opportunities

7. **ANALYSIS**

7.1 As stated in Section 6, the application has attracted a large amount of correspondence both to object to the proposals and also in support.

7.2 As stated in 6.1 It is important to note that the scheme was revised on two occasions, with a new set of drawings being received following an extension of the application deadline. The revised scheme was subject to an additional three-week consultation period, and made the following amendments:

- Raised the height of the landing platform.
- Better screened those waiting at the top of hotel, protecting the privacy of flats
- Enhanced the space surrounding the cabins on Britannia Park.

The second public consultation commenced in September 2019 and presented the following amendments:

- A more accurate vision of the scale of the landing tower
- Greater clarity on the finish of the proposed fencing and associated huts.

7.3 **Principle of Development**

In terms of the principle of the application, Policy KP10 (Central and Bay Business Areas) in the Local Development Plan supports the development of tourism related activities in this part of the city, stating: *New and improved leisure, recreation and tourist facilities are important for the future development of Cardiff...By improving the quality and range of sporting, recreation and leisure facilities, the area is made a more attractive place in which to live work and visit, thereby helping to attract inward investment and regeneration.*

In terms of land use policy, the application site falls within the Central and Bay Business Areas as defined by the Adopted Local Development Plan proposals map. The proposal for the temporary zip wire should therefore be assessed against Policy KP10. KP10 considers commercial leisure uses are appropriate within the Central and Bay Business Areas. Paragraph 4.141 of the supporting text to KP10 recognises that new and improved leisure, recreation and tourist facilities are important for the future development of Cardiff and generate significant benefits to the local economy. Improved recreation and leisure facilities makes the area a more attractive place in which to live, work and visit and thereby attracts inward investment and regeneration. Assessed against this policy framework, the proposal raises no land use policy concerns.

Therefore, notwithstanding the specific issues raised relating to the details of the application, it is considered that the application does align with planning policy and there is no land use policy conflict with a zip wire in this location if other matters are satisfied.

7.4 **Noise impact / Pollution Control**

Concerns have been raised over potential noise and disturbance to neighbours. The revised plans which reduce the total number of operational hours to those highlighted within the conditions are designed to alleviate the concerns. In addition, the use of polyurethane wheels on the zip wire should reduce any noise pollution further, making the Noise Impact Assessment a worst case scenario. Finally, it is not intended to use generators in the proposed cabins associated with the development and this is Conditioned against. Whilst recognising that any noise can be a nuisance, it is felt that in this instance that the recommended conditions will ensure that any impact upon neighbours is kept to an acceptable level.

Other matter raised by objectors, such as light pollution and air pollution are considered not to be harmful by the LPA.

7.5 **Privacy and Amenity of Residents**

Objections were raised from different parts of Cardiff Bay. However, the closest properties on Havannah Street are around 80m from the launch pad and are most likely to be impacted by any negative outcomes from the application. Concerns relate to overlooking and the general disturbance of the zip line disrupting views and altering

the character of the area. In respect of overlooking, Condition 7 requires the provision of a screen at the launch pad on top of the St David's Hotel, which will prevent those waiting to use the zip wire from overlooking the properties. It should also be noted that the north-facing hotel rooms directly look upon adjacent residential properties from a distance of 60m or less, so any privacy intrusion is unlikely to be greater than what is already in existence. In addition, the nearest properties lie to the northwest of the launch site, whereas the zip line will travel in an easterly direction, away from residential properties. The revised plans also show a reduction in operational hours, as reflected in Condition 3

7.6 **Impact upon Wildlife and Birds**

Cardiff Bay is an important environmental location, and to the south of the launch pad lies the Cardiff Bay wetlands, which is a Site of Importance for Nature Conservation (SINC) and to the east lies the Severn Estuary. The comments from Council Ecologist and Natural Resources Wales (NRW) are critical in assessing this issue. Whilst the concerns are recognised, it is acknowledged that the representations "*do not consider that this temporary proposal is likely to cause an adverse effect on the integrity of the Severn Estuary SPA, RAMSAR or SAC*".

In addition, the Harbour Authority has an obligation to the environmental sustainability of the Bay, and a need to maintain a stable and attractive environment. On balance, the environmental impact is not considered sufficient to sustain an objection to the proposal.

7.7 **Character of the Bay / Impact on Visual appearance of Cardiff Bay**

It is considered that the visual impact of a zip wire will be minimal, and while in operation, the prospect of people moving across the area in the air may be unusual, it is not considered harmful, especially given the hours of operation.

From most vantage points, the centre of the zip wires will be around 150-250m from the waterfront, and even when someone is riding the zip wire, it is considered that this will not detract from the wider appeal of the views on offer. When outside the hours of operation, the wires are expected to have a negligible impact upon views within Cardiff Bay. In respect of the character of the Bay, while the area has many uses, including commercial and residential, as stated in Policy KP10 of the LDP it is also an important leisure and tourist area, which the proposals will complement.

More widely, the Bay is a busy location with a wide range of water activities, public movements, noise and visual stimulation, which the zip wire, while a unique example thereof does not conflict with. In addition, the temporary nature of the development will allow for the Council to review the operation and its impact.

The impact on property prices is not a material planning consideration

7.8 **Length of Consent and Operating Hours**

The second revision of the scheme in August 2019 reduced the hours of operation to those outlined in Condition 3. These are considered reasonable and typical for tourist attractions in the Bay area. In respect of the temporary consent, it aligns with the spring and summer tourist season and condition 2 will clearly limit its period of operation.

7.9 **Landing Area / Impact on Norwegian Church**

The landing area near the Norwegian Church and the presence of a 20m high tower, enclosed by hoardings and two associated cabins will have a noticeable impact in what is currently public space.

The tower itself has increased in height by 5m following revisions, reaching a

maximum height of 20m. This has the effect of raising the zip wire, thus allowing greater access under the wire for sailing boats to safely pass underneath. As a result, it should be noted that the tower will be taller than the Norwegian Church by approximately 4m.

The cabins associated with the landing site have been reduced in scale following the revised plans, and the omission of a generator means that associated fencing will be less intrusive, and with a correspondingly smaller noise impact. Whilst concerns have been raised in respect of the visual impact on the landing area, particularly in terms of the size of the tower, the fact that this application is for a temporary time period and for a strictly limited period of time (See Condition 2) will ensure that the structures are removed from the land.

In terms of the impact upon heritage assets, the view across the dock between the Norwegian Church and the Pierhead building are regarded as important views. The zip wire and the landing platform will be directly visible in these views.”

The Heritage Statement does acknowledge there will be an impact on the setting of the Pierhead building and the Norwegian Church (which is not designated). There should be no doubt that the updated proposal will also have an impact on the character of the conservation area. Views out of the bay including upon the Norwegian Church, are a key element of the character of the conservation area and this is specified in the appraisal with the Norwegian Church central to two key views. The surrounding architecture and structures are generally of a high quality design.

The proposed landing structure is higher than that which was previously proposed and is now notably higher than the Norwegian Church. The height difference is not so great however to alter the conclusion that the structure will be prominent in some views of the Norwegian Church and therefore to mitigate any small temporary harm to the character, the structure should hold some visual interest.

However, considering the structure is temporary the harm to the conservation area is regarded as small, an improved design which embraces the vibrant atmosphere and design within this location of Cardiff Bay would mitigate the harm caused and is likely to be acceptable on a temporary basis. The suggested Conditions will ensure that no long term impact upon the heritage assets is felt.

In summary, the temporary nature of the proposals will ensure that there is no permanent impact upon the setting of the Norwegian Church. The fact that the church is not a Listed Building is also of note. In addition, Condition 8 to ensure an appropriate visual finish to the hoarding and cabins will ensure an appropriate visual finish

7.10

Car Parking and increases in Pedestrian and Vehicular Movements

In terms of transportation Impact, a comprehensive *Transport and Crowd Management Plan* and *Design and Access Statement* has been provided. While the numbers of people that may use the experience is not inconsiderable, owing to capacity issues they are by definition spread out across the day, which is not the case with many other attractions in Cardiff Bay, which can have radically different peaks and troughs throughout the day and week. In terms of sustainability, there is a clear route provided for walkers from the landing area. The Bay itself is well served by sustainable transport means and car parking. Any increase in visitors to the Bay can result in increased transport and pedestrian movements, but there is considered no reason to have undue concern that this development will result in a dramatic rise in footfall or in unsustainable transport movements.

Impact upon the Sailing Community

7.11 The Barrage Act means that the Bay must be accessible to users, including tall ships, The presence of a zip wire across Cardiff Bay, would by definition potentially limit the height of boats which manoeuvre underneath it, primarily in order to access the marina located at Mermaid Quay. As stated in 7.9, the height of the wire has been increased, in order to make a greater part of Cardiff Bay accessible to all boats while the zip wire is operational. Under the revised scheme, around 170m of the water beneath the zip wire will be subject to an exclusion zone (marked by floating buoys for which planning permission is not required), leaving a similar expanse of water for boats to navigate under. The Harbour Authority does not object to the scheme as access is maintained, even if restricted.

7.12 Inadequate Consultation / misleading information.

The scheme has been in the public domain since early May 2019. Over the process of two revisions, 26 site notices have been displayed, and 100+ nearby properties made aware of the proposals on each occasion. This aligns with standard process. The applicant's level of engagement with the public is not something that will determine the planning application.

The initial revision raised the height of the proposed landing tower to 20m. While these drawings were accurate in terms of the landing tower specifics, they were misleading as they placed the image next to the Norwegian Church, which was not drawn to scale. As a result, this was amended in the second revision. The Council is not aware of any other misleading information.

Some objections were made referring to the applicant's provision of 75 letters of support on a templated letter. The applicant is entitled to do this, and all observations are considered on their planning merits.

7.13 Economic Impact

The positive economic impact was highlighted by many representations and emphasised by Economic Development's support for the proposals. This aligns with the LDP Objective that seeks that *Cardiff has a thriving and prosperous economy*

7.14 Other Matters

Other matters raised such as concerns over insurance, the lack of toilet facilities, concerns over the use of drones, or the company selling tickets without planning permission are either not considered material planning matters, or have been adequately addressed in the Planning Statement accompanying the application.

8. OTHER CONSIDERATIONS

8.1 *Crime and Disorder Act 1998* – Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

8.2 *Equality Act 2010* – The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a

protected characteristic.

- 8.3 *Well-Being of Future Generations Act 2016* – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.

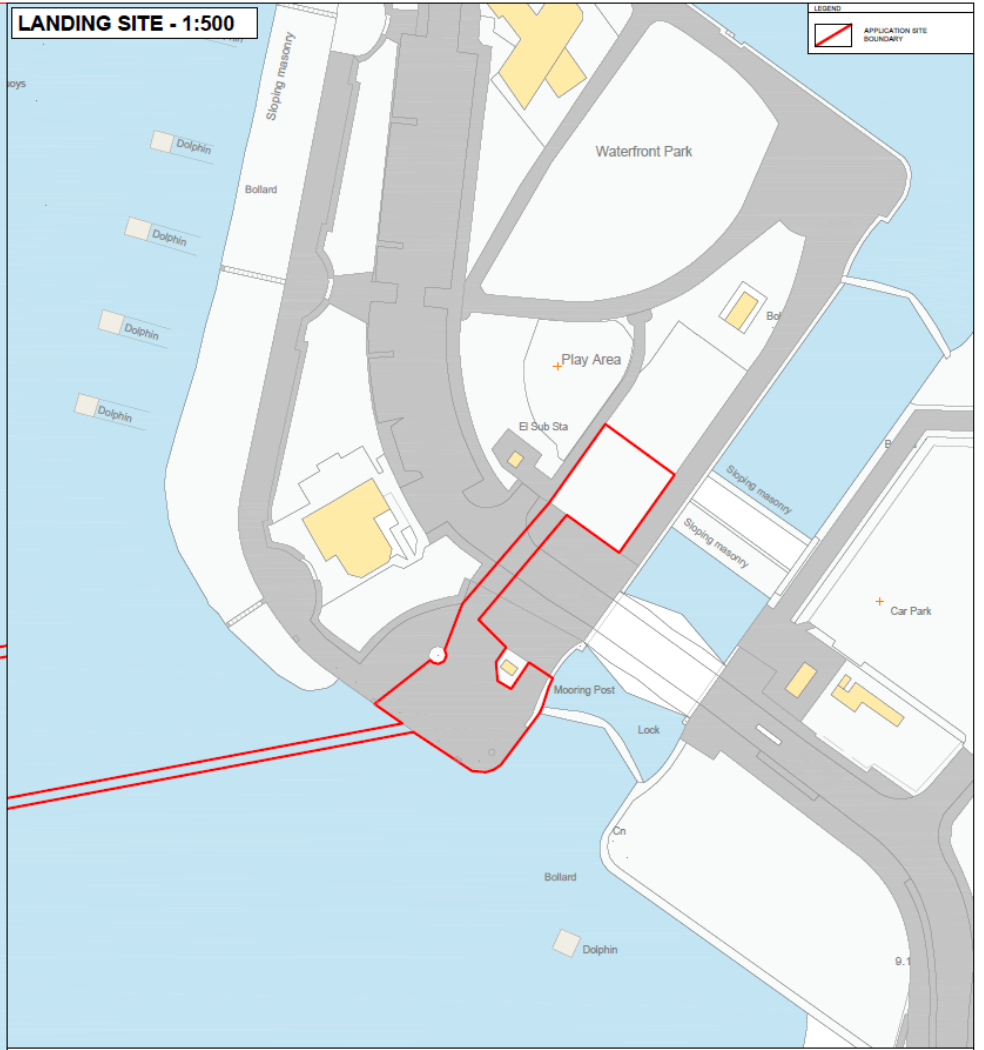
9. **CONCLUSION**

- 9.1 In coming to a conclusion consideration has been given to the many points made from the public as well as representations made from internal and external consultees. Where comments have been received, particularly weight has been given to those from residents living near to the zip wire, who would realistically be expected to be most impacted by the proposals. More generally, it is recognised that this is a new and unique planning application that has attracted conflicting opinions.
- 9.2 On balance, given the matters addressed within the revised scheme, and the imposition of appropriate planning conditions to control the design issues, it is recommended that the application is APPROVED for a temporary period as referenced above.

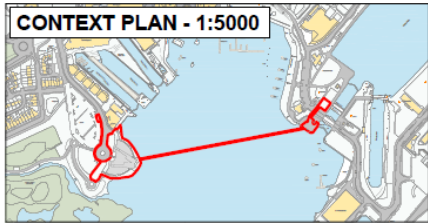
LAUNCH SITE - 1:500



LANDING SITE - 1:500

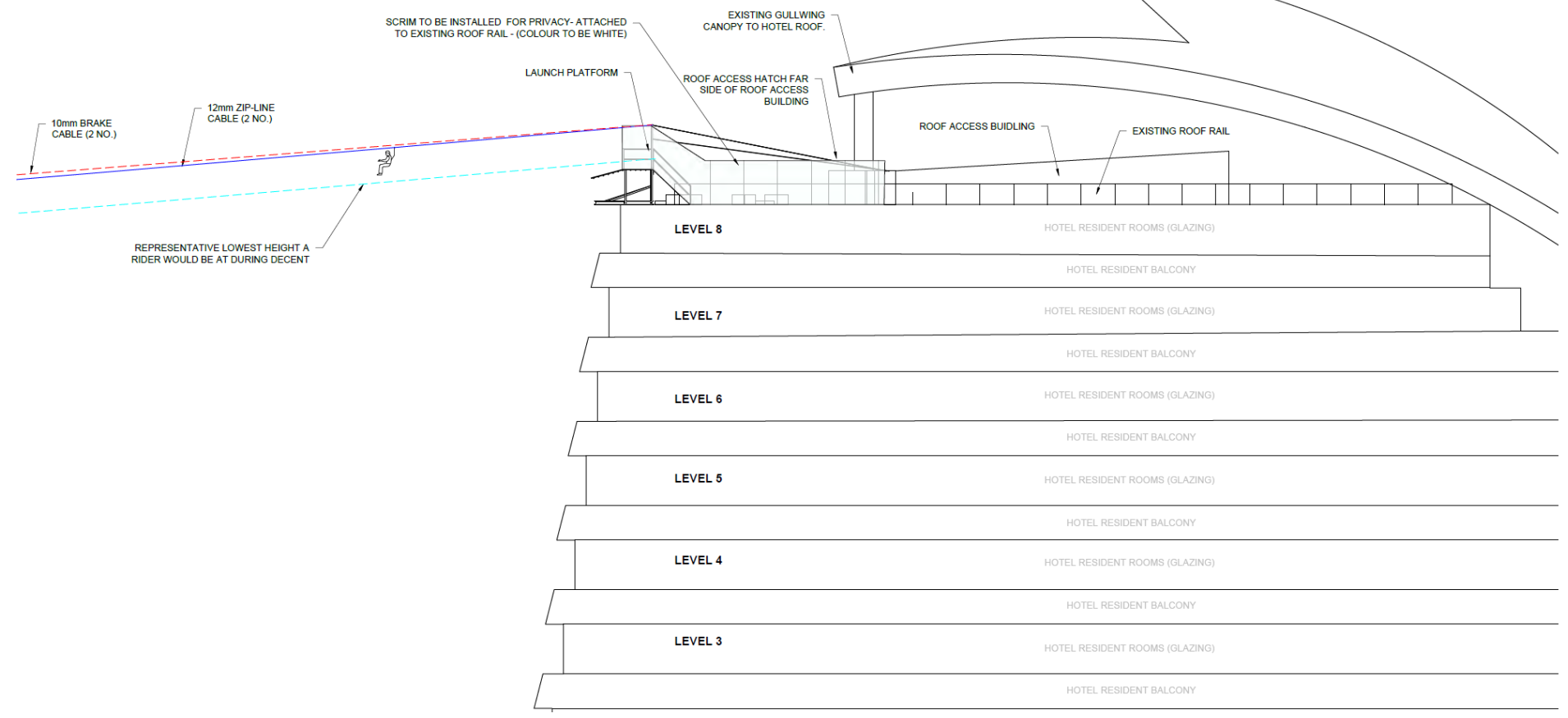


CONTEXT PLAN - 1:5000

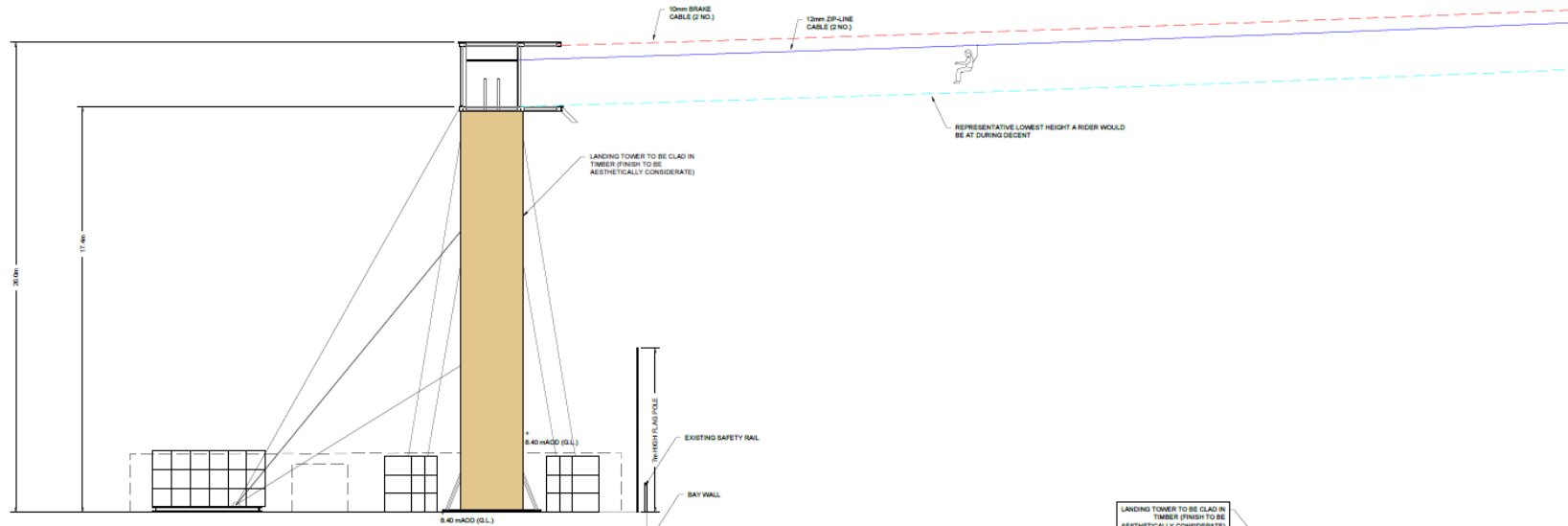


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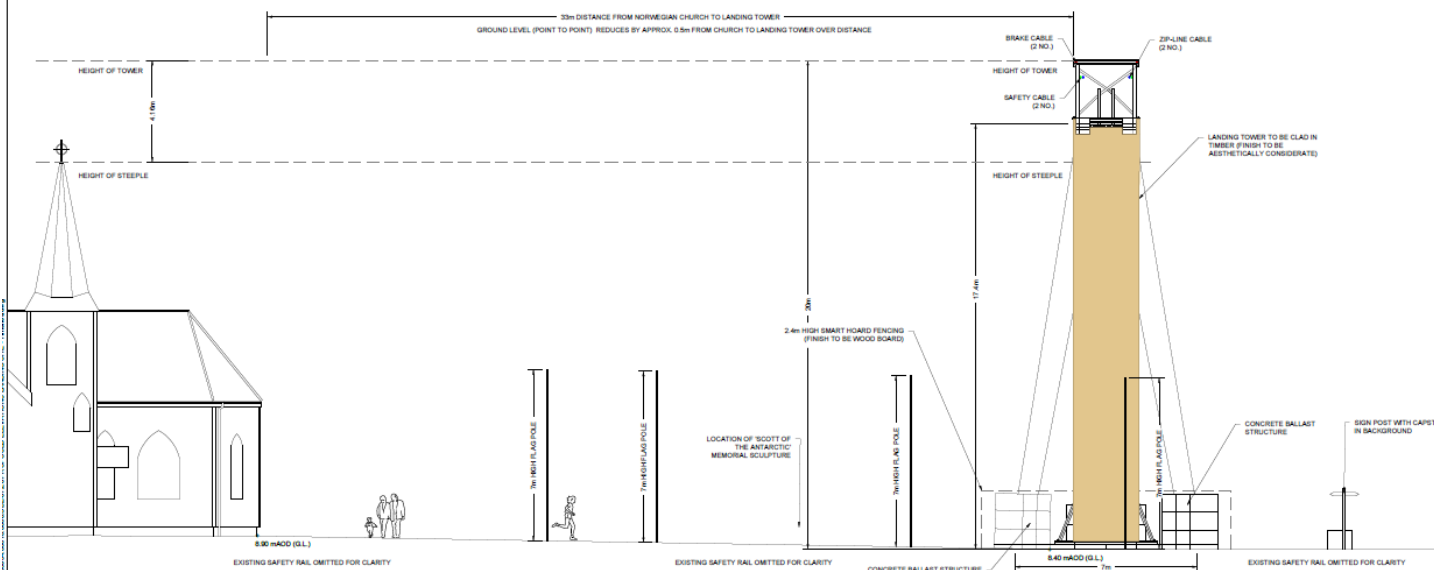
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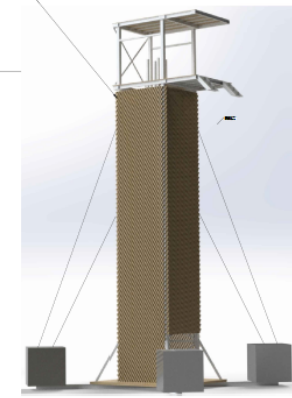
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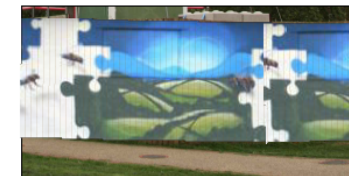
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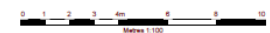
LANDING TOWER TO BE CLAD IN TIMBER (FINISH TO BE AESTHETICALLY CONSIDERATE)



TOWER CLADDING - FINISH



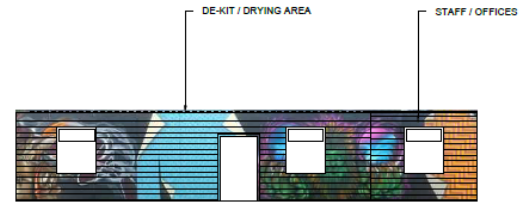
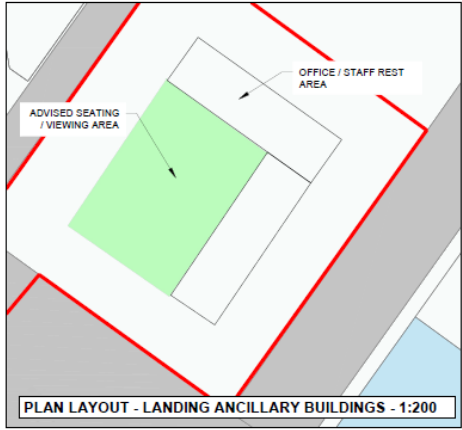
SMART HOARD FENCING - FINISH



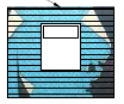
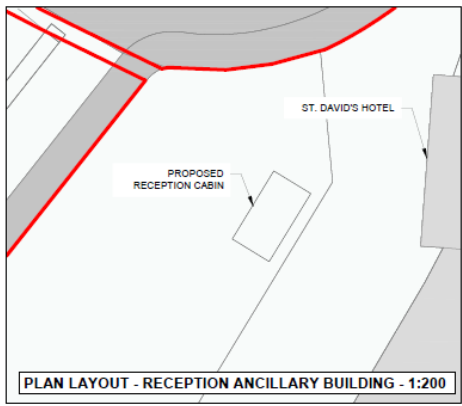
THE CITY ZIP COMPANY LIMITED	
SLR	<small>REG. NO. 10208 THE BUILDING ACT 2004 REG. NO. 10208 0 0113 00000 www.slrc.co.uk</small>
CARDIFF BAY TEMPORARY ZIP LINE PLANNING APPLICATION PROPOSED ELEVATION OF LANDING SITE - FINISH CBZ / 012	
AS SHOWN (A1)	05 SEPTEMBER 2019

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LANDING



RECEPTION



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CARDIFF BAY TEMPORARY ZIP LINE
PLANNING APPLICATION
PROPOSED ELEVATIONS OF
ANCILLARY BUILDINGS - FINISH

CBZ / 013

Scale: AS SHOWN (A2) Date: SEPTEMBER 2019

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LOCAL MEMBER OBJECTION

COMMITTEE DATE: 16/10/2019

APPLICATION No. **19/01331/MJR** APPLICATION DATE: 09/05/2019ED: **LISVANE**

APP: TYPE: Full Planning Permission

APPLICANT: PHG CAPITAL

LOCATION: LOZELLES, CHURCH ROAD, LISVANE, CARDIFF, CF14 0SJ

PROPOSAL: PROPOSED CONSTRUCTION OF BLAOCK OF 6 SELF
CONTAINED FLATS

RECOMMENDATION 1 : That, subject to relevant parties entering into a binding planning obligation in agreement with the Council under **SECTION 106** of the Town and Country Planning Act 1990, within 6 months of the date of this resolution unless otherwise agreed by the Council in writing, in respect of matters detailed in paragraph 9.0 of this report, planning permission be **GRANTED** subject to the following conditions:

1. C01 Statutory Time Limit
2. The development shall be carried out in accordance with the following approved plans:
 PL(90) 01 Proposed Site Plan Rev C;
 2907002 Rev H Landscape Plan
 PL(00)21 Plot A Plans Ground floor Rev A;
 PL(00)22 Plot A Plans First floor Rev A;
 PL(00)23 Plot A Plans- Second floor Rev A;
 PL(00)24 Plot A Elevation Sheet 1 Rev A;
 PL(00)25 Plot A Elevations Sheet 2 Rev A;
 Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.
3. No development shall take place until samples of the external finishing materials have been submitted to and approved by the Local Planning Authority. The development shall be carried out in accordance with the approved details.
 Reason: To ensure that the finished appearance of the development is in keeping with the area.
4. Prior to beneficial use of the development hereby approved details showing the provision of cycle parking spaces have been submitted to and approved in writing by the local planning authority. The approved details shall be implemented prior to the development being put into beneficial use. Thereafter the cycle parking spaces shall be maintained

and shall not be used for any other purpose.

Reason: To ensure that adequate provision is made for the secure parking of cycles in accordance with Policy T5 of the adopted Cardiff Local Development Plan (2006-2026)

5. The rear Juliet balconies, as shown on plan number PL(05) 25 Rev A hereby approved shall not project more than 300mm from the rear wall.

Reason: For the avoidance of doubt

RECOMMENDATION 2 : To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

RECOMMENDATION 3 : On the 7th January 2019 Schedule 3 of the Flood and Water Management Act 2010 was enacted. This effects all new developments where the construction area is of 100m² or more. Cardiff Council is aware that your application for planning permission was validated after the recent legislative change in which Schedule 3 of the Flood and Water Management Act was enacted and therefore may be subject to surface water drainage proposals under the SAB application process.

It is recommended that the developer engage in consultation with the Cardiff Council SAB team, as the determining SuDS Approval Body (SAB), in relation to their proposals for SuDS features. Cardiff Council are aware that this is new legislation and as such we are offering a free pre-application service for the first year. To arrange discussion regarding this please contact SAB@cardiff.gov.uk In the meantime if you require further information please review our website: <https://www.cardiff.gov.uk/ENG/resident/planning-and-suds/suds-approval-body/>

Or, alternatively you can review the legislation set by Welsh Government here: <https://gweddill.gov.wales/topics/environmentcountryside/epq/flooding/drainage/>

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 Full Planning permission is sought for an extension to Block A to allow 3 additional flats. The extension would have a foot print 6 metres x 13 metres. The additional flats would be configured as follows:

- Ground floor: 1 x 1 bedroom;
- First floor 1 x 2 bedroomed;
- Second floor 1 x 2 bedroomed

The scale, form and design replicates the approved block A

- 1.2 The plans have been amended to remove the rear balconies and an updated landscape plan has been submitted to accord with the Council's Tree Officers comment.

2. **DESCRIPTION OF SITE**

- 2.1 The site is a 0.38 ha corner plot located on the Church Road/ Heol-y-Delyn Junction. The site currently being redeveloped in line with the approval for 2 houses and 11 flats. Along the Church Road boundary are two mature purple beech trees that are protected by Tree Preservation Orders (City and County of Cardiff (Plas-y-Delyn Area, Lisvane) TPO 2009)
- 2.2 The property has a vehicular access onto Church Road
- 2.3 The eastern boundary of the site adjoins Church Road which is a single carriageway highway approximately 5 metres wide with street lighting but no footways. There are double yellow lines on both sides of the road but no white lining. A 20 mph speed limit is in enforce, together with speed tables, at the junctions with Heol y Delyn and Cefn Mably Road.
- 2.4 Heol y Delyn is lit and, except for a short distance between Church Road and the access to Lozelles, there are footways on both sides (the footway linking Heol y Delyn and Church road is currently being built as part of the approved scheme).
- 2.5 The western boundary of the application site adjoins the side boundary of an extended semi-detached house known as Helfa which fronts onto Heol-y-Delyn. To the north of the application site, on the opposite side of Heol-y-Delyn, lies Lisvane Library/Community Centre.
- 2.6 The site is not located within a Conservation Area or a defined flood risk zone.

3. **SITE HISTORY**

- 3.1 15/02618/MNR- outline permission for 1 detached house- approved;
- 3.2 15/0583/MNR-outline permission for two detached houses- approved.
- 3.3 16/02752/MJR- proposed residential development comprising 2 houses and 11 self-contained apartments with new access road, parking, cycle, refuse storage and amenity facilities- approved.

4. **POLICY FRAMEWORK**

- 4.1 Planning Policy Wales Ed. 10;
- 4.2 Technical Advice Notes (TAN):
5 (Nature Conservation and Planning);

12 (Design);
18 (Transportation).

- 4.3 The Cardiff Local Development Plan 2006-2026 provides the local planning policy framework. Relevant policies include:

KP5: Good Quality and Sustainable Design;
KP6: New Infrastructure;
KP7: Planning Obligations;
KP8: Sustainable Transport;
KP14: Healthy Living;
KP15: Climate Change;
H3: Affordable Housing;
T1: Walking and Cycling
T5: Managing Transport Impacts;
T6: Impact on Transport Networks and services;
EN7: Priority Habitats and Species;
EN 8: Trees, Woodlands and Hedgerows;
EN10: Water Sensitive Design;
EN13: Air, Noise, Light Pollution and Land Contamination.
C1: Community Safety and Creating Safe Environment
C5: Provision for Open Space, Outdoor Recreation, Children's Play and Sport
W2 Provision of Waste Management Facilities in Development

- 4.4 Further advice is provided in the following adopted Supplementary Planning Guidance documents:
Planning Obligations (January 2017);
Infill sites (November 2017);
Green Infrastructure SPG
Waste Collection & storage facilities (October 2016)

5. **INTERNAL CONSULTEE RESPONSES**

- 5.1 The Operational Manager (Transportation): Having reviewed the updated layout the Transportation section make the following comments:
It appears that an additional 3 car parking spaces are proposed on site compared to the consented scheme [01 G] (2 perpendicular to Church Rd in the SE of the site, and 1 in the parking row north-west of Block B). It is assumed that the 'grey space' shown on the rev G plan on entrance to the site is not actually a parking space. The proposed additional car parking spaces are therefore within the maximum standards set in the SPG.

The consented scheme appears to show 20 cycle parking spaces in total for Plot A/B. The condition related to cycle parking does not require additional details to be submitted. Five cycle spaces are required as a result of the additional Plot A development (5 bedrooms) and thus cycle parking for 25 spaces in total is required. Two areas for cycle parking are shown on the revised plans, 5 stands between Plot A and B, and 4 stands to the north-west of Plot B.

It is apparent that there are currently some parking problems on the south side

of Heol y Delyn adjacent to Llwyn-y-Pia Road. In order to ensure that the additional development does not result in ongoing parking issues, it would be prudent for a Section 106 contribution to be made towards a future survey of parking conditions on Heol y Delyn/Llwyn-y-Pia Rd/Church Rd and the introduction of parking restrictions via a TRO process, as deemed necessary. A sum of £5000 would be required for this.

- 5.2 The Operational Manager (Drainage) has been consulted and states that surface water drainage for this block will require SAB approval.
- 5.3 The Housing Strategy Manager states that, given the scale and nature of development proposed, the existing contribution (planning reference 16/02752/MJR) would also cover this proposal.
- 5.4 The Parks Officer: raises no objection .
- 5.5 Waste Management Officer raises no objection.
- 5.6 Trees Officer: No objection subject to conditions relating to retaining landscaping

6. **EXTERNAL CONSULTEE RESPONSES**

- 6.1 Welsh Water: No objection subject to drainage condition

7. **REPRESENTATIONS**

- 7.1 Neighbouring properties have been notified with additional publicity undertaken by site and local press notices. A total of 14 letters of representation have been received. All object on the following grounds:
 - The proposal is already causing problems with vehicles parking in a dangerous manner around the area and that is even before it is occupied by the future owners;
 - The proposal is an overdevelopment of the site and will result in the loss of the little green space on site;
 - Given the lack of a regular bus service the demand for car use is greater in this area and the proposal fails to accommodate this
- 7.2 Councillor Walker: Objects to this application on the following grounds:
 - The site received permission for a substantial development and this further application is a step too far and would lead to an overdeveloped site. It would also be unneighbourly in that traffic will increase as additional residents and their visitors access the site.
 - Church Rd is already a busy and narrow highway with a high level of pedestrian movement.
 - There is already limited parking available for the flats and the additional parking pressure could not reasonably be accommodated, in my view.

- If officers be minded to approve, I would want this to go to Planning Committee where I can express my objections to committee members.

7.3 Lisvane Community Council:

Lisvane Community Council (LCC) is disappointed that there is a further proposed variation to the existing planning consent and wishes to strongly object to the above planning application for the following reasons:

- LCC objected to the original planning application (Nov 2016) for 2 houses and 14 flats for the reasons documented in its Letter of Objection dated 23 December 2016. This was in addition to a large number of objections from residents along with a petition signed by 111 people and also an objection from the local Member of Parliament. Subsequently the developer amended the planning application to 3 fewer flats following which the amended application was approved. This latest planning application seeks to reinstate those 3 flats which is grossly insensitive to the extent of the original level of concern expressed by the community
- The plot would be too densely populated, cramped and overdeveloped. It would become completely out of character with the essentially rural nature of the immediate surrounding area. The latest plans involve moving the bins and bicycle racks to the boundary adjoining Lisvane Crown Precinct almost certainly at the expense of the hedge (and not an attractive view out of the side window of the Plot A flats).
- The current site plan is showing 25 parking spaces for Plots A, B and C with 4 for the 5 bedroom house (Plot D). A separate planning application (19/01432/MNR) has just been submitted which reduces the Plot D parking spaces by 1 (as a result of turning the garage into a games room). The total number of spaces would then be 28 and there are appears to be no plans to increase this to cope with the additional 3 flats. This site would need the maximum number of spaces (37 according to Cardiff County Council's Supplementary Planning Guidance Access Circulation and Parking Standards - 2010). This is a key issue as parking at Crown Precinct is intended for users of the retail businesses there, the Black Griffin PH has a car park for use by its customers, St Denys Church has no parking facilities and parking at Lisvane Old School car park is for users of the school only. There is no on-street parking on Church Road so all residents of Lozelles and their visitors realistically will need to park at the Lozelles site.
- LCC remains concerned about the level of traffic which the site will generate which would be made worse by the additional 3 flats. The Design Statement gives a false impression of the adequacy of public transport. This is misleading as (a) the train stations at Lisvane and Llanishen are too far away to walk to and (b) the bus service comprises of one bus 9 times a day with up to 2 hour intervals and nothing after 7.30pm. There is no bus service on Sundays. Consequently, most if not all of the Lozelles residents and their visitors will almost certainly be using their cars.

8. **ANALYSIS**

8.1 The key material considerations in the determination of this application are considered to be : whether the proposal is overdevelopment of the site; whether the proposal out of character with the area; parking provision and highway safety; the impact upon neighbouring properties; and the impact upon the protected trees and protected species.

8.2 **Overdevelopment of the site**

Concern has been raised that the additional 3 units would result in an overdevelopment of the site that would result in insufficient parking provision, amenity space and a cramped form of development. The previously approved scheme was altered from 14 flats to 11 as the an acceptable separation distance development proposed, at that time created 3 individual blocks, which resulted in that result would have created a dominant terrace, contrary to policy. The proposal before Committee retains the two blocks with the separation distance between them reduced from 17 to 11 metres. The proposal would still provide a green area and cycle/bin provision in an acceptable location. It is considered that the space between and around the buildings and the level of amenity space would still accord with national and local design policies ensuring that the proposal would not result in an overdevelopment of the site.

8.4 **Out of Character with the Area**

National Planning Policy seeks good design/placemaking and this is reflected in the Council's adopted Local Development Plan, where Policy KP5 requires all new development to be of a high quality, sustainable design and make a positive contribution to the creation of distinctive communities, places and spaces. Whilst the application is for an extension to Block A, the application must be considered in the context of the overall development as well. Further detailed guidance is provided within the approved Infill Design Guide SPG (January, 2017).

The character of the immediate area is formed by predominantly two-storey detached and semi-detached housing with pitched roofs within relatively large plots; however some substantial 2.5 storey housing does exist within the vicinity. The site is within what is considered to be the traditional core of the village where varying building scales, positioning, height and uses create an area of mixed character.

The proposal is for an extension to the consented scheme and is of a scale, design and use of materials that would accord with the design principles that have been approved on this site. The creation of an additional bay would balance this block with that of Block B (a four bay block) and, when read in the context of the overall design of this site, would result in a form of development that would not undermine the character of the approved scheme or the wider area.

8.5 **Impact upon the Listed Church**

Given the overall development that is being built on site, the proposed extension would not given its scale, siting and design result in an development would cause harm to the character or sitting of the listed church

8.6 **Parking/Highway safety**

The proposal would result in an additional 3 flats, with the plans accommodating an additional 3 parking spaces. The Council's Transportation Officer confirms that the car parking provision accords with policy. However, the cycle parking provision has not increased in accordance with policy but can be conditioned to ensure compliance.

The concern over inconsiderate parking on the corner of Heol-y-Delyn/ Church Road is noted. A financial contribution for surveys and any necessary traffic regulations orders to allow for double yellow lines has been secured as part of this application, as a result the potential for vehicles to cause an obstruction from the development has been addressed.

8.7 **Impact upon Neighbouring Properties**

Both National Planning Policy, the Council's design policies and SPGs seek development to be designed so that they do not create an adverse impact upon the amenity and privacy of neighbouring occupiers.

The proposed extension would be sited and designed to accord with the Council's minimum privacy standards. The separation would align with the approved scheme and would be of a similar scale to the approved Block A. Given the above, it is considered that the proposal would not represent an overbearing or unneighbourly form of development that would harm the amenities of the adjoining neighbours to such an extent that refusal is warranted. In forming this view, consideration has been given to the existing ground levels, the separation of the adjoining buildings and the siting of these property's windows.

8.8 **Impact upon the Protected Trees/Landscaping**

Along the eastern (Church Road) boundary are two protected Copper Beech Trees which remain unaffected by this proposal

In terms of the overall landscaping strategy for the site differs slightly to the approved scheme, to accommodate the extension, but it is considered that the proposal would retain those elements of the approved landscaping scheme that are important. The Tree Officer has confirmed that the amended landscaping scheme is, on balance, acceptable.

8.9 **Drainage**

The comments from Welsh Water are noted and whilst the proposal is for a

replan of block A to create 3 additional units, given the minor nature of the addition it is considered that the additional drainage can be accommodated within the approved drainage scheme. It is also noted that the replan of this block may require separate drainage approval (SAB) and this will be communicated to the applicant by an informative attached to this permission, if approved (see recommendation 2 above).

8.10 **Other matters not assessed above**

The planning system regulates in the public interest. The planning system does not exist to protect the private interests of one person against the activities of another, therefore matters of loss of land value are not a material consideration.

9. **PLANNING OBLIGATIONS**

National Policy and CIL regulations outline the legal requirements for a valid Planning obligation. The Council's approved Planning Obligations SPG provides further guidance. The following financial contributions are required:

£5,000 towards surveys and any necessary TRO/ double yellow lines

Having regard to policy and legal requirements outlined above it is considered that the requests meet the necessary tests and policy requirements. The agent has confirmed that his client is willing to enter into an agreement to secure these contributions

10. **CONCLUSION**

The proposal to extend block A would not have a significant adverse impact upon the approved scheme in regards to its impact upon future residents, adjoining properties or highways matters. The proposed scale, massing and design of the extension would accord with national and local policy objectives and would have regard to the character of the area and the overall design philosophy. For the reasons outlined above, planning permission is recommended for approval subject to conditions.

11. **LEGAL CONSIDERATIONS**

11.1 ***Crime and Disorder Act 1998***

Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

11.2 ***Equality Act 2010***

The Equality Act 2010 identifies a number of 'protected characteristics', namely

age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. Having due regard to advancing equality involves:

removing or minimising disadvantages suffered by people due to their protected characteristics; taking steps to meet the needs of people from protected groups where these differ from the need of other people; and encouraging people from protected groups to participate in public life or in other activities where their participation is disproportionately low.

The above duty has been given due consideration in the determination of this application.

It is considered that there would be no significant or unacceptable impact upon persons who share a protected characteristic, over and above any other person, as a result of the proposed decision.

11.3 *Planning (Wales) Act 2015 (Welsh language)*

Section 31 of the Act clarifies that impacts on the Welsh language may be a consideration when taking decisions on applications for planning permission so far as it is material to the application. This duty has been given due consideration in the determination of this application. It is considered that there would be no material effect upon the use of the Welsh language in Cardiff as a result of the proposed decision.

11.4 *Wellbeing of Future Generations (Wales) Act 2015*

Section 3 of the Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the proposed decision.

11.5 *Biodiversity and Resilience of Ecosystems Duty*

These comments contribute to this Authority's discharge of its duties under Section 6 of the Environment (Wales) Act 2016. This duty is that we must seek to maintain and enhance biodiversity in the exercise of our functions, and in so doing promote the resilience of ecosystems, so far as is consistent with the proper exercise of those functions. In complying with this duty we will have to take account of the resilience of ecosystems, in particular the diversity between and within ecosystems; the connections between and within ecosystems; the scale of ecosystems; the condition of ecosystems and the adaptability of ecosystems.

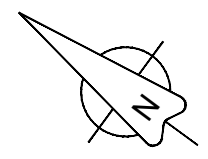
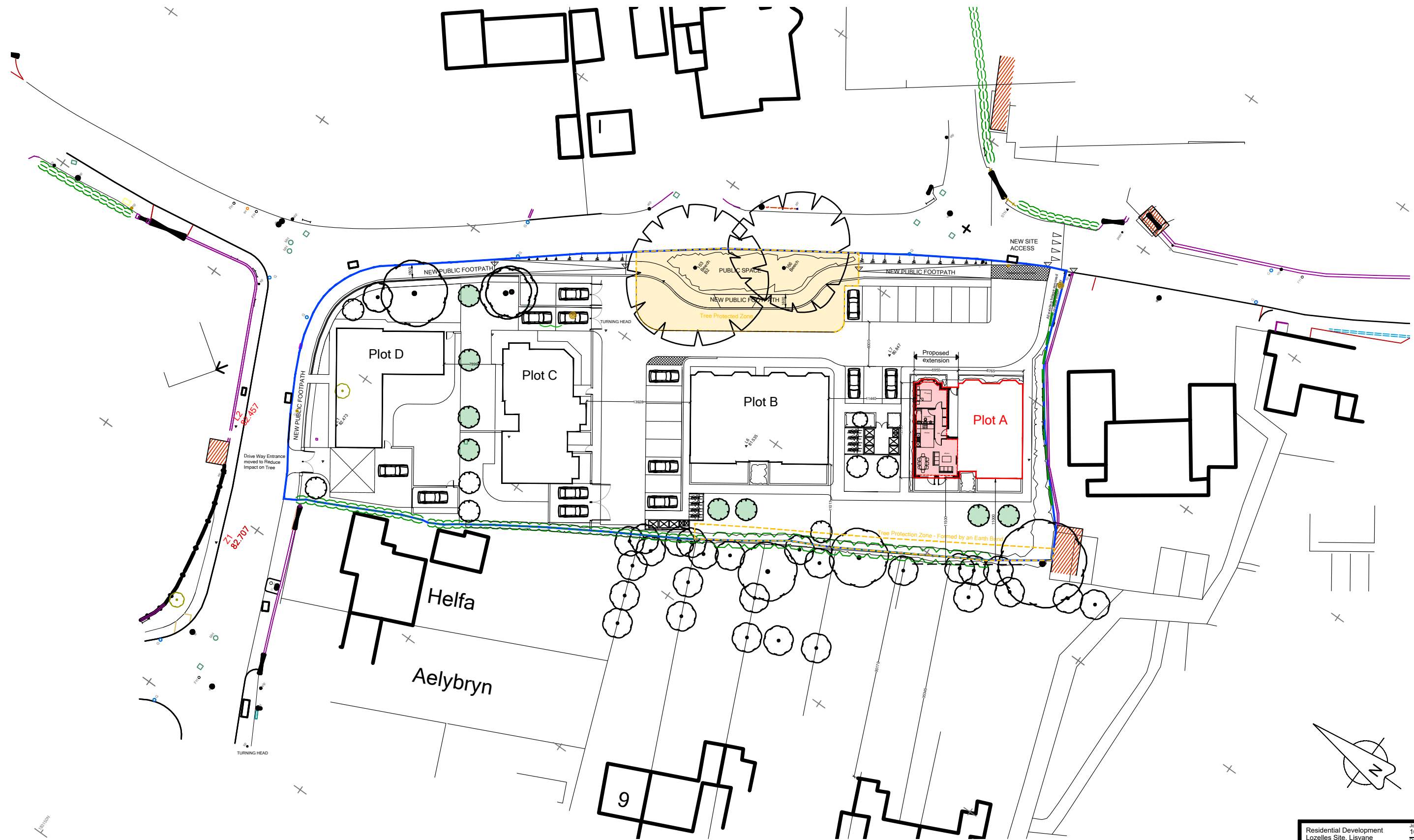
Date
 09/05/19
 09/06/19
 20/09/19

Drawn
 WS
 WS
 WS

Check

Description
 Red and blue line boundaries amended.
 Scale Revised on Drawing
 Traditional balconies replaced by Juliet balconies.

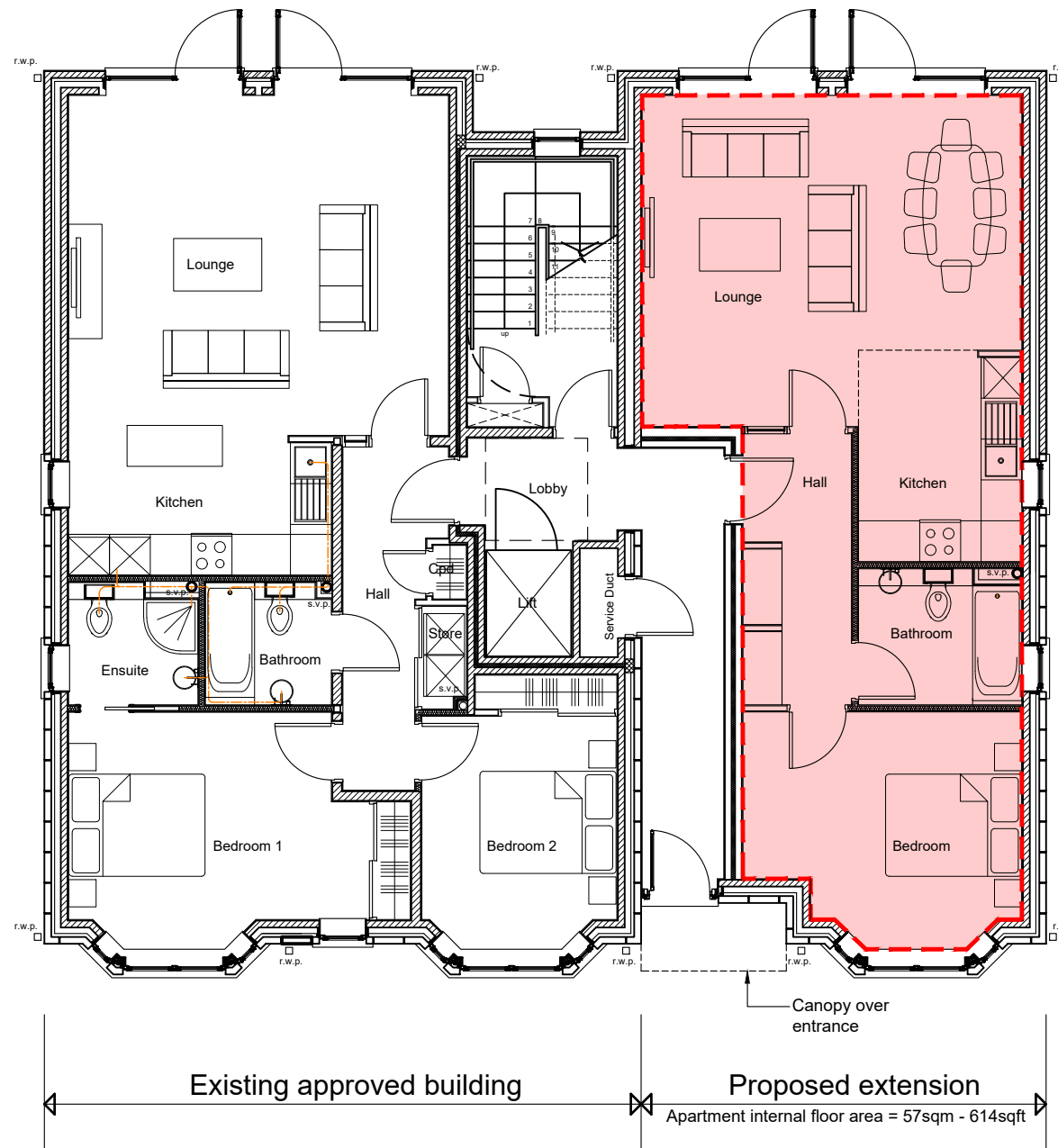
Rev.
 A
 B
 C



Residential Development Lozelles Site, Lisvane	Job No: 16_047	Rev. C
	Design No: PL(90)01	
Title Proposed Extension To Plot A - Site Plan		
Date	Drawn	Scale
		1:250@A1 & 500@A3

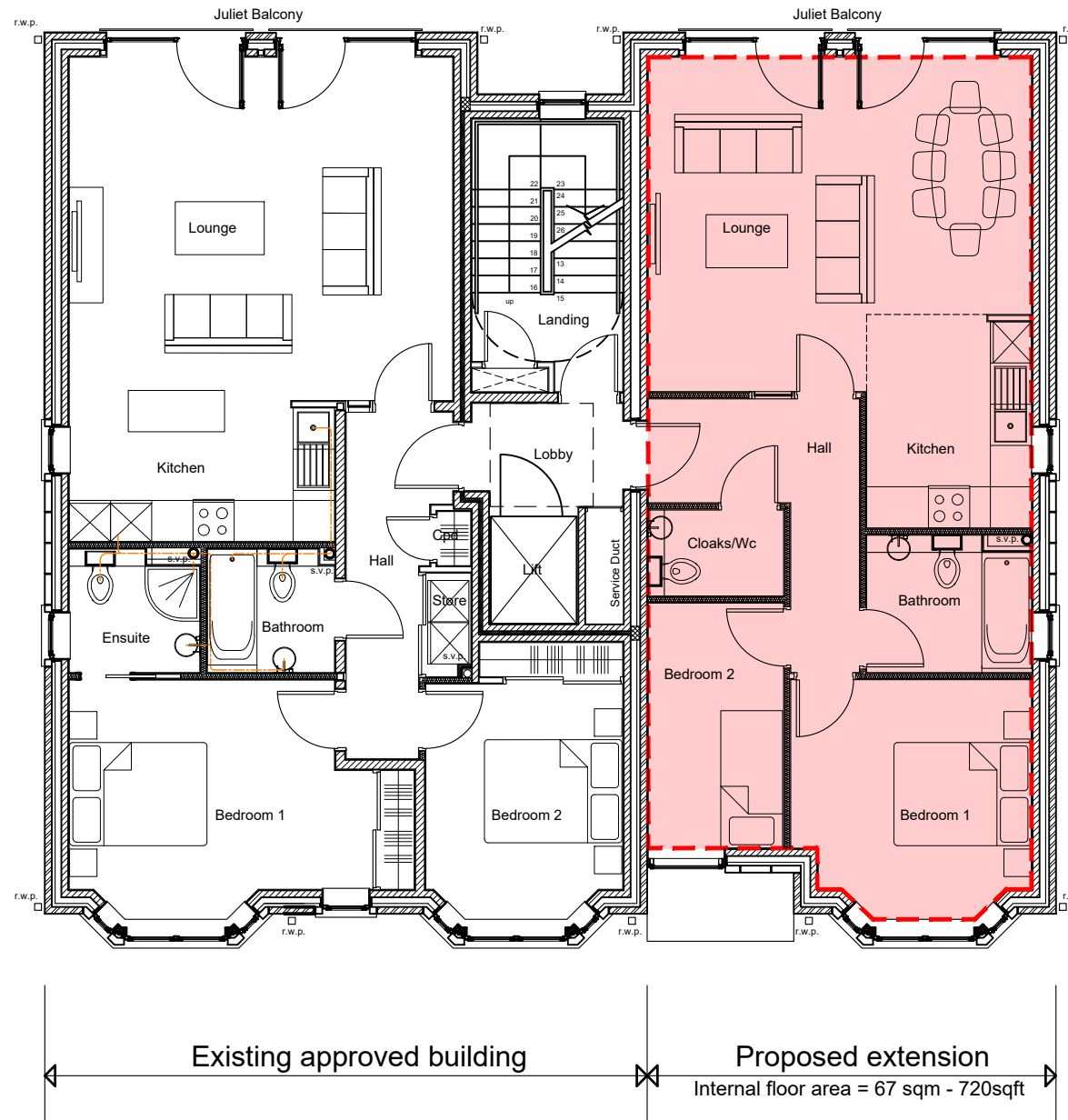
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 tel: 031 29452100



Ground Floor Plan

Residential Development Lozelles Site, Lisvane		Job No. 16_047
		Dwg No. Rev. PL(00)21 A
Title Plot A - Proposed Extension - Ground Floor Plan		
Date 02/19	Drawn	Scale 1:100 @A3
 C² Architects		Town planners Environmental & Urban design
<small>Unit 1A, Compass Business Park, Pacific Road, Cardiff, CF24 5HL</small>		<small>www.c2architects.co.uk tel: 029 20452100</small>



First Floor Plan

Residential Development Lozelles Site, Lisvane		Job No. 16_047
Title Plot A - Proposed Extension - First Floor Plan		Dwg No. Rev. PL(00)22 A
Date 02/19	Drawn	Scale 1:100 @A3
 Architects · Town planners Environmental & Urban design		
Unit 1A, Compass Business Park, Pacific Road, Cardiff, CF24 5HL		www.cjarchitects.co.uk tel: 029 20452100

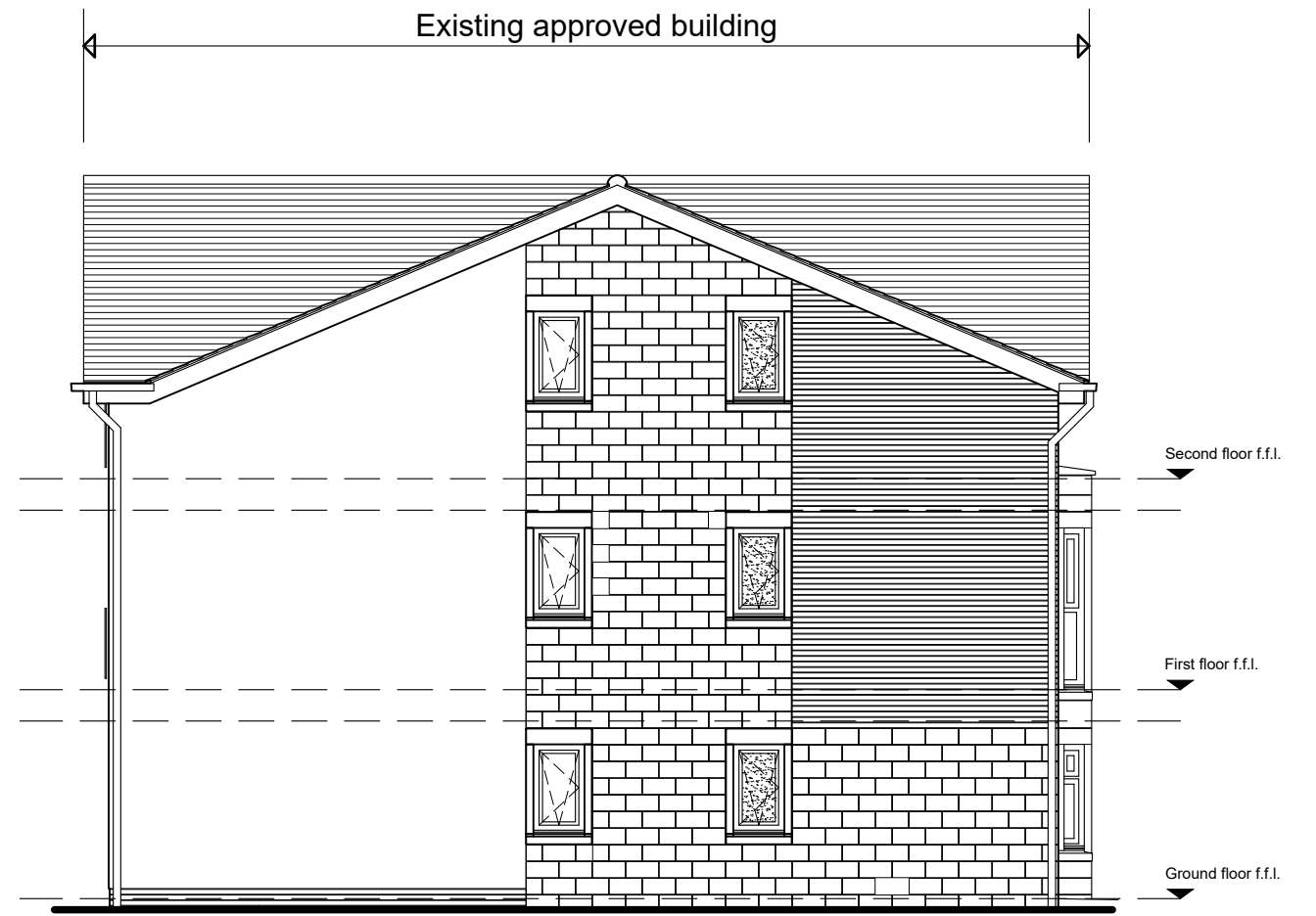


Second Floor Plan

Residential Development Lozelles Site, Lisvane		Job No. 16_047
Title Plot A - Proposed Extension - Second Floor Plan		Dwg No. Rev. PL(00)23 A
Date 02/19	Drawn	Scale 1:100 @A3
 C² Architects · Town planners Environmental & Urban design		
Unit 1A, Compass Business Park, Pacific Road, Cardiff, CF24 5HL		www.c2architects.co.uk tel: 029 20452100



Front Elevation



Side Elevation (Left Side)

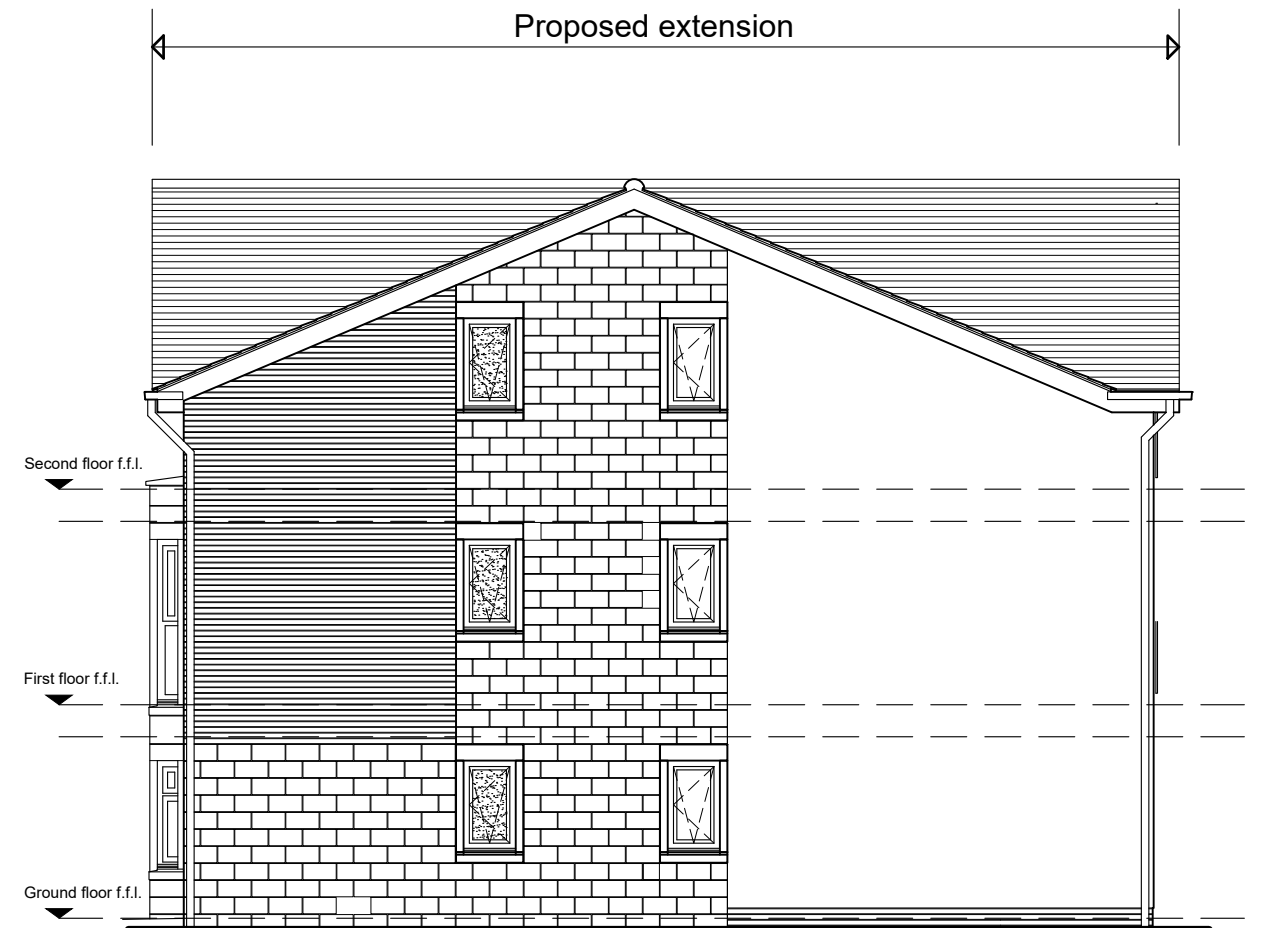
Residential Development Lozelles Site, Lisvane		Job No. 16_047
Title Plot A - Proposed Extension - Elevations sheet 1		Dwg No. Rev. PL(00)24 A
Date 02/19	Drawn	Scale 1:100 @A3

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tel: 029 20452100



Rear Elevation



Side Elevation (Right side)

Residential Development Lozelles Site, Lisvane		Job No. 16_047
Title Plot A - Proposed Extension - Elevations sheet 2		Dwg No. Rev. PL(00)25 A
Date 02/19	Drawn	Scale 1:100 @A3

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tel: 029 20452100

Proposed Landscape Specification

1.0 WORKMANSHIP – GENERAL
All work must be to the satisfaction of the supervising Landscape Architect.

1.1 SITE CLEARANCE
Where the site has not been wholly cleared, the Contractor shall cut, rake up and remove from site all vegetation excepting those existing plants to be retained as shown on the drawings. Roots shall be grubbed up. All rubbish and hardcore shall be removed from site to tip at the Contractors expense. Reference should be made to the Tree Protection Plan.

1.2 HORTICULTURAL SOIL RESOURCE REPORT
This soft landscaping scheme should be read in conjunction with the Horticultural Soil Resource Report prepared in accordance with the 2009 DEFRA Construction Code of Practice for the Sustainable Use of Soils on Construction Sites. Refer to the report for details on available soil resource, soil analysis, soil suitability, and soil storage, placement and pre-planting.

1.3 EARTH FILL AND GRADING
When this is to form part of the works, the Contractor must firstly strip all site topsoil from the area to be filled or graded, making sure that all the existing vegetation and stones over 50mm have been removed and carted off site. Store the topsoil in uncompacted heaps not over 1.25m in height, taking care that it is not mixed with subsoil or deleterious material.

1.4 SUBSOILING AND TOPSOILING
All Topsoil to conform to BS3882:2015, all subsoil to conform to BS 8601:2013.

Soil profiles for areas of new planting:
- Grass: 150mm depth topsoil over 150mm depth subsoil
- Shrubs: 300mm depth topsoil over 300mm depth subsoil
- Trees: 300mm depth topsoil over 600mm depth subsoil

Any levels to be made up beneath topsoil depths shall be made up by using sub-soil fill. Topsoil and sub-soil shall each be deposited in separate spoil heaps and strict precautions are essential to prevent loss or admixture of topsoil with sub-soil. The Contractor is to take all due care in the course of the earth moving work, to ensure that all deposited material is evenly consolidated and especially that any lumps of soil are completely broken up in the course of the grading work. A suitable period is, if possible, to be permitted to elapse subsequent to soil being placed to allow for major settlement prior to finishing, grading, grassing and planting.

1.5 TREE SUPPLY, HANDLING AND PLANTING
Shall be accordance with BS545:2014 (*Trees: from nursery to independence in the landscape - recommendations*). See Tree Pit Section for planting. All tree planting, including containerised stock, shall be carried out between November and March but not during periods of frost, drought or cold drying winds. At the time of planting and at such times as directed, all plants shall be thoroughly watered. Staking only required for standards.

1.6 PROTECTION OF SUPPLIED PLANTS
Plants shall be protected from root exposure and desiccation at all times, bare roots shall be heeled in properly and protected during the planting operation. Containerised plants shall be adequately watered whilst awaiting planting. Seeds shall be protected from harmful temperature/moisture fluctuations and vermin.

1.7 SHRUB CULTIVATION, PREPARATION AND PLANTING
All shrub planting, including containerised stock, shall be carried out between November and March but not during periods of frost, drought or cold drying winds. At the time of planting and at such times as directed, all plants shall be thoroughly watered. Container grown plants should be thoroughly soaked prior to removing the container. Unsuitable plants and materials, rejected by the Landscape Architect, shall be cleared from site and replaced with satisfactory goods at the Contractors expense. The whole of the areas to be shrub planted, as shown on the drawings, are to be thoroughly cultivated to a fine tilth by hand or machine, where appropriate and broken up to not less than 300mm deep and thoroughly cleared of all extraneous matter. The Contractor is to allow for the removal from Site of all rubbish, stones and weed growth. Fill depressions in ground surface with topsoil and lightly compact in 150mm layers until surface is level with surface of surrounding ground. Prior to planting, fork in a 50mm layer of composted bark, composted garden waste or mushroom compost. Bring the soil to an even tilth and necessary firmness.

1.8 SHRUB PLANTING
Beech hedging to be notch planted, care taken to avoid damage to existing roots. All other shrub planting: dig holes to adequate size and depth to take rootball or root system. Make sure that the root system is not damaged in any way and that the plant is at the same depth as it was at the nursery. Backfill is to be well worked in around the roots and properly firmed in. Containerised plants shall be thoroughly soaked before removal from containers and planting. Individual planting positions, shown on the drawing, shall be prepared to the same standards as borders. Allow a pit not less than 450mm diameter increased as necessary to accommodate spread out root systems or rootballs so that the pit diameter exceeds the root spread by 300mm overall or 600mm for trees.

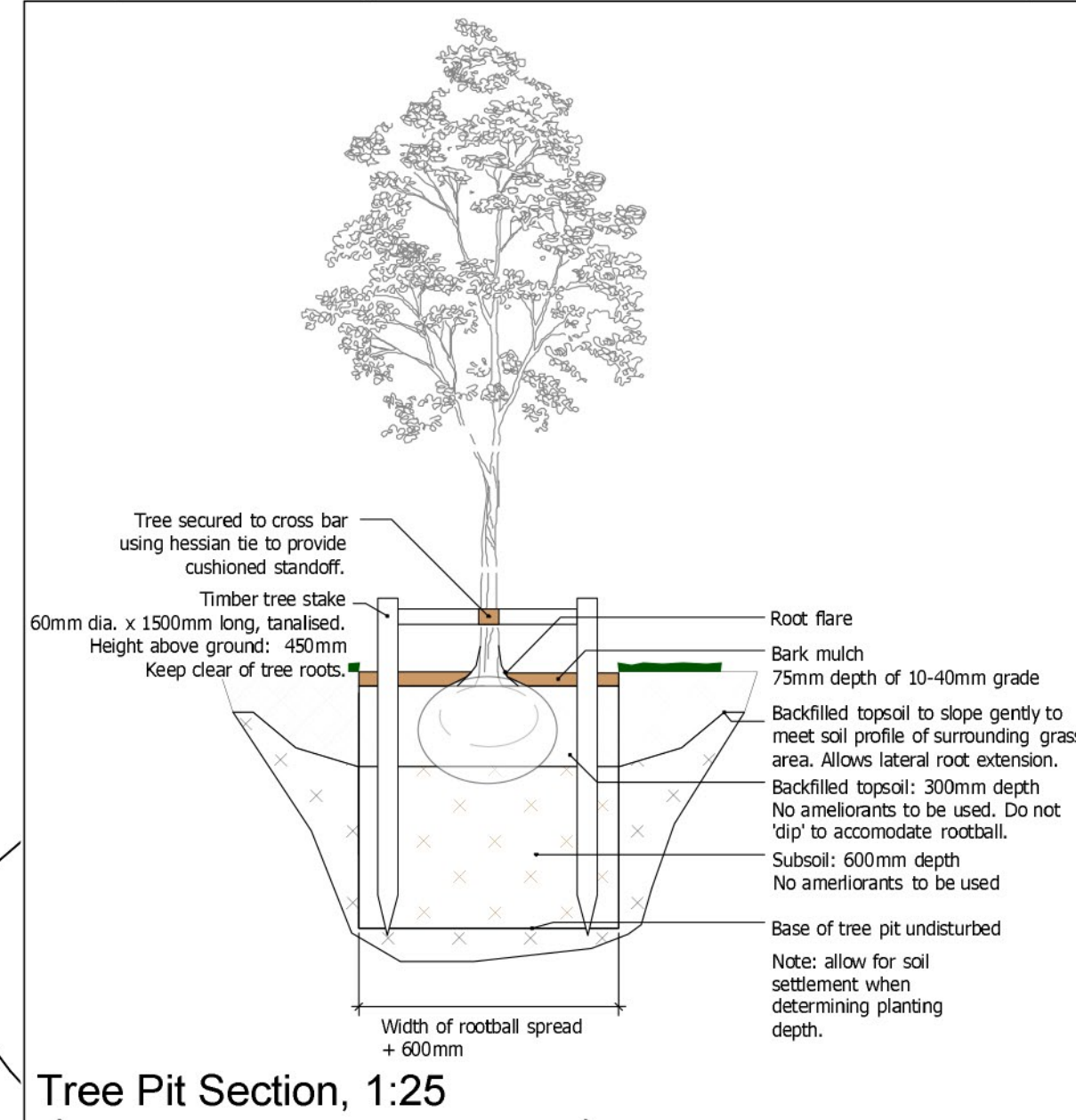
1.9 BARK MULCH After planting spread bark mulch to a depth of 75mm over all planted areas. Mulch shall be graded softwood bark flakes. Nominal particle size – as measured using BS sieving techniques – shall be 10-40mm with no more than 15% below 10mm. Material consisting largely of long thin particles will not be accepted. The bark shall have been removed from the parent timber and matured for a minimum of four months prior to application as mulch. Combined timber/sawdust/shaving content shall be no more than 5%. The pH shall be between 4 and 7. Available manganese content shall be no greater than 35 PPM. It shall be free flowing, pest, disease and weed free. The Contractor shall supply a small representative quantity to the Landscape Architect for approval. All mulch used must be of equal quality as the approved sample. The Contractor shall keep the initial load for comparison. The quality must be maintained throughout and any delivery below the standard of the approved sample will be rejected and must be carried away at the Contractors expense, as must any surplus mulch. When completed ensure that the mulch is not spread over paving or other hard surfaces.

1.10 LAWN SEEDING/TURFING The Contractor shall carry out seeding/turfing and maintenance of seeded areas in accordance with the seed/turf supplier's guidance. Areas for seeding/turfing should be on firm but not compacted topsoil of minimum 150mm depth that has been broken up to full depth (except within in Root Protection Areas). The surface should be reduced to a fine tilth and areas to be seeded/turfed should be free of weeds. Surface stones exceeding 10mm should be removed prior to seeding/turfing.

1.11 BIOSECURITY All plants to be UK propagated/grown. Clerk of Works to inspect plant documentation at delivery to site to confirm UK provenance.

1.12 ADDITIONAL NOTES
Formative pruning of young trees to accord with BS3998:2010 (*Tree works - Recommendations*). Tree ties and stakes: Ties and staking to be inspected quarterly and adjusted as required to avoid damage to tree. Ties and stakes to be completely removed after 12 months. Mulched areas: inspect and top-up mulch areas annually, as per 1.9. Watering during 2 years establishment period: as required to ensure thriving, notably during dry spells and in summer. Hedging: trim annually to batter during autumn and outside of breeding bird season (i.e. outside February to August). Remove arisings.

N.B. No peat to used in the preparation or planting.



notes:

- All dimensions to be checked and confirmed onsite prior to any works.
- Do not scale off this drawing.
- Any errors, omissions or discrepancies are to be brought to the attention of Lingard Styles immediately.

key:

- Retained Trees
- Proposed Trees
- Native Hedge
- Ornamental Shrub Mix
- Groundcover planting where required
- Turf / Seeded Lawn where required
- Turf: Rowlan Medallion or similar approved
- Seed: Geminal Seed Houses A19 All-Purpose Landscaping Mix sown at 50g/m2
- Shade tolerant grass: Geminal Seed Houses A6(Supreme Shade) at 40g/m2
- Block Paving
- Fence 1.8m closeboard fence, timber posts in post spikes.

Plant Schedule

Ornamental Shrub Mix

Qty	Name	Size
66	Chaenomeles speciosa 'Geisha Girl'	3L
66	Hebe 'Sapphire'	3L
66	Lavandula angustifolia 'Hidcote'	3L
66	Potentilla fruticosa 'Abbotswood'	3L
66	Spiraea x cinerea 'Grefsheim'	3L

Native Hedge Mix

Qty	Name	Size
81	Corylus avellana	60-80cm, 1+1 transplant, bare root
117	Crataegus monogyna	60-80cm, 1+1 transplant, bare root
22	Ilex aquifolium	3L
10	Rosa canina	60-80cm, 1+1 transplant, bare root

Portuguese Laurel Hedge

Qty	Name	Size
166	Prunus lusitanica	3L

Screening to bin store and bike shed

Qty	Name	Size
18	Viburnum tinus 'Eve Price'	5L

Trees

Qty	Name	Size
1	Acer buergerianum	Selected Standard
1	Acer pensylvanicum	Selected Standard
4	Cercidiphyllum japonicum	Selected Standard
1	Cotoneaster 'Cornubia'	Selected Standard
3	Corylus avellana	Multi-stem, 2m
2	Metasequoia glyptostroboides	300cm, C 30L
2	'Sheridan Spire'	
3	Robinia x slavini 'Hillieri'	Selected Standard

Beech hedge

Qty	Name	Size
297	Fagus sylvatica	60-80cm, 1+1 transplant, bare root



Landscape Architects, Urban Designers, Environmental Consultants

rev:	date:	description:
A	21/09/16	first issue
B	26/01/17	site layout updated, planning comments
C	03/02/17	NRW comments
D	10/05/17	Layout updated
E	27/09/16	Layout updated
F	26/10/18	Layout updated
G	30/10/18	Layout updated
H	31/07/19	Layout updated
	22/08/19	Layout updated

tel: 0333 4561132 fax: 01743 243602
email: info@lingardstyles.co.uk

9 College Hill, Shrewsbury Shropshire, SY1 1LZ
The Studio, Farm Lodge, Leighton, Welshpool, Powys, SY21 8HD

client / project:
**Proposed Development
Lozelles Site, Lisvane
Cardiff**

title:
Landscape Plan

dwg. no:	scale:	drawn:	chkd by:
2907-002 rev H	1:200@ A1	TM	PS

DO NOT SCALE FROM DRAWING. © DRAWING IS COPYRIGHT

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PETITIONS FOR AND AGAINST & LOCAL MEMBER OBJECTIONS

COMMITTEE DATE: 16/10/2019

APPLICATION No. **19/01339/MNR** APPLICATION DATE: 01/05/2019ED: **RHIWBINA**

APP: TYPE: Full Planning Permission

APPLICANT: Coray Developments

LOCATION: 238 PANTBACH ROAD, RHIWBINA, CARDIFF, CF14 6AX

PROPOSAL: DEMOLITION OF PART TWO STOREY AND SINGLE STOREY BUILDINGS AND CONSTRUCTION OF THREE STOREY BUILDING CONTAINING TWO RETAIL UNITS AND A ONE BEDROOM FLAT AT GROUND FLOOR AND THREE DUPLEX APARTMENTS AT FIRST AND SECOND FLOOR

RECOMMENDATION 1 : That, subject to relevant parties entering into a binding legal agreement with the Council under the provisions of **SECTION 106** of the Town and Country Planning Act 1990, within 6 months of the date of this Resolution unless otherwise agreed by the Council in writing, in respect of matters detailed in paragraph 5.3 of this report, planning permission be **GRANTED** subject to the following conditions:

1. C01 Statutory Time Limit
2. The development shall be carried out in accordance with the following approved plans and documents:
 - 2275.PL.01 - Existing and proposed site plan - received 09/09/19
 - 2275.PL.02 REV B – Proposed floor plans and elevations
 - 2275.PL.03 REV C – Proposed new build renders
 - 2275.PL.06 REV A - Proposed building rear elevation

Reason: For the avoidance of doubt as to the extent of the permission.

3. No development shall take place until a detailed surface water drainage scheme for the site, based on sustainable drainage principles and an assessment of the hydrological and hydrogeological contact of the development, have been submitted to and approved in writing by the Local Planning Authority (LPA). The scheme shall be subsequently implemented in accordance with the approved details. The scheme to be submitted shall:
 - a. Undertake infiltration testing in accordance with BRE365 guidance. Testing is to be completed and results submitted to demonstrate (or otherwise) the use of infiltration SuDS;

- b. Demonstrate that the surface water drainage system(s) are designed in accordance with CRIRA C753;
- c. Demonstrate detailed design (plans, network details and calculations) in support of any surface water drainage scheme, including details of any attenuation system and outfall arrangements. Calculations should demonstrate the performance of the drainage system for a range of return periods and duration inclusive of the 1 in 1 year, 1 in 2 year, 1 in 30 year, 1 in 100 year and 1 in 100 year plus 30% allowance for climate change return periods;
- d. Demonstrate the proposed allowance for exceedance flow and associated overland flow routing;
- e. Provide information about the measures taken to prevent pollution of the receiving groundwater and/or surface waters.

Reason: In the interests of the proper drainage of the site, in accordance with policy EN10 of the Cardiff Local Development Plan.

- 4. No development shall take place until details of the implementation; maintenance and management of the sustainable drainage scheme required by condition 3 have been submitted to and approved in writing by the local planning authority. The scheme shall be implemented and thereafter managed and maintained in accordance with the approved details. Those details shall include:
 - i. A timetable for its implementation;
 - ii. A management and maintenance plan for the lifetime of the development which shall include the arrangements for the adoption by any public body or statutory undertaker, or any other arrangement to secure the operation of the sustainable drainage system throughout its lifetime.

Reason: In the interests of the proper drainage of the site, in accordance with policy EN10 of the Cardiff Local Development Plan.

- 5. No development shall take place until such time as a proportionate groundwater assessment, including for long term seasonal monitoring, has been undertaken to identify the likely risk of groundwater flooding. Where groundwater is identified, a scheme to manage and mitigate the risk associated with flooding from this source should be submitted to and approved in writing by the Local Planning Authority.

Reason: In the interests of the proper drainage of the site, in accordance with policy EN10 of the Cardiff Local Development Plan.

- 6. The car parking spaces shown on the approved plans shall be marked as being for the use of residents of the flats only and shall not be used in association with the retail units at any time.

Reason: In the interests of the management of parking demand, in

accordance with policy T5 of the Cardiff Local Development Plan and Supplementary Planning Guidance "Managing Transportation Impacts (Incorporating Parking Standards) April 2018.

7. Notwithstanding the details shown on the approved plans, none of the apartments shall be occupied and none of the retail units brought into beneficial use until facilities for the secure and/or sheltered storage of cycles for residents of the flats and staff and customers of the retail units have been provided in accordance with details that have been submitted to and approved in writing by the Local Planning Authority, and the approved facilities shall be retained in perpetuity.

Reason: To ensure that adequate provision is made for the secure parking of cycles in accordance with policies KP5 and T5 of the Cardiff Local Development Plan.

8. Prior to the commencement of development full details of both hard and soft landscape works shall be submitted to and approved in writing by the Local Planning Authority. These details shall include:
 - proposed finished levels;
 - hard surfacing materials, which shall include block paving for the car parking area;
 - minor artefacts and structures (e.g. planters and handrails);
 - proposed and existing services above and below ground level;
 - planting plans (including schedules of plant species, sizes, numbers or densities, and in the case of trees, planting, staking, mulching, protection, soil protection and after care methods);
 - an implementation programme;
 - a landscape management plan, including management responsibilities and maintenance schedules.

The hard and soft landscaping works shall be carried out in accordance with the approved details and implementation programme and shall be managed and maintained in accordance with the approved landscape management plan.

Reason: To maintain and improve the appearance of the area, in the interests of visual amenity and to mitigate against the effects of climate change and adapt to its impacts, in accordance with policies KP5 and KP15 of the Cardiff Local Development Plan.

9. No development shall be carried out until there has been submitted to and approved in writing by the local planning authority a plan indicating the positions, design, materials and type of boundary treatment to be erected and a timetable for its erection. The boundary treatment shall be erected in accordance with the approved plan and timetable.

Reason: In the interests of visual and residential amenity, in accordance with policy KP5 of the Cardiff Local Development Plan.

10. Prior to the commencement of development, details of the siting and

appearance of an enclosure for the storage of refuse and recycling containers shall be submitted to and approved in writing by the Local Planning Authority and thereafter refuse and recycling containers shall be stored in accordance with the approved details.

Reason: In the interests of visual amenity and waste management, in accordance with policies KP5 and W2 of the Cardiff Local Development Plan.

11. The first floor windows to flat 2 in the North West elevation shall be obscurely glazed and non-opening to a height of at least 1.8m above the finished floor level of the rooms which they serve and shall thereafter be so maintained.

Reason : To ensure that the privacy of users of the adjoining garden is protected in accordance with policy KP5 of the Cardiff Local Development Plan.

12. Prior to development commencing, details of the proposed parking spaces and footway improvements/resurfacing adjacent to those spaces (and in the vicinity of the Heol y Bont/Pantbach Road junction), to include details of the removal of the kerbing of the redundant access and reinstatement of full height footway, shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to the development being put into beneficial use.

Reason: To ensure that the use of the proposed development does not interfere with the safety of traffic or pedestrian accessibility, in accordance with policies T5 and T6 of the Cardiff Local Development Plan.

13. No development shall be carried out other than in accordance with the precautionary bat mitigation measures set out in sections 5.2.1 to 5.3.1 of the Preliminary Bat Roost and Nesting Bird Assessment dated March 2019 and produced by Acer Ecology.

Reason: To ensure on a precautionary basis that impacts upon any bats which remain undetected following the bat survey are mitigated, in the interests of biodiversity and the protection of European Protected Species, in accordance with policies KP16 and EN7 of the Cardiff Local Development Plan.

14. If site clearance in respect of the development hereby approved does not commence within 18 months from the date of the most recent survey for bats, the approved ecological measures shall be reviewed and, where necessary, amended and updated. The review shall be informed by further ecological surveys commissioned to i) establish if there have been any changes in the presence and/or abundance of bats and ii) identify any likely new ecological impacts that might arise from any changes. Where the survey results indicate that changes have occurred

that will result in ecological impacts not previously addressed in the approved scheme, the original approved ecological measures shall be revised, and new or amended measures, and a timetable for their implementation, shall be submitted to and approved in writing by the local planning authority prior to the commencement of development. Works must then be carried out in accordance with the proposed new approved ecological measures and timetable.

Reason: To ensure that the assessment of the impacts of the development upon bats, and any measures to mitigate those impacts, are informed by up-to-date information, in the interests of biodiversity and the protection of European Protected Species, in accordance with policies KP16 and EN7 of the Cardiff Local Development Plan.

RECOMMENDATION 2: The applicant is advised that on the 7th January 2019 Schedule 3 of the Flood and Water Management Act 2010 was enacted. This affects all new developments where the construction area is of 100m² or more. Cardiff Council is aware that your application for planning permission was validated after the recent legislative change in which Schedule 3 of the Flood and Water Management Act was enacted and therefore may be subject to surface water drainage proposals under the SAB application process. It is recommended that the developer engage in consultation with the Cardiff Council SAB team, as the determining SuDS Approval Body (SAB), in relation to their proposals for SuDS features. Cardiff Council are aware that this is new legislation and as such is offering a free pre-application service for the first year. To arrange discussion regarding this please contact SAB@cardiff.gov.uk In the meantime, further information can be found at: <https://www.cardiff.gov.uk/ENG/resident/planning-and-suds/suds-approval-body/> Alternatively, the legislation set by Welsh Government can be reviewed here: <https://gweddi.gov.wales/topics/environmentcountryside/epq/flooding/drainage/>

RECOMMENDATION 3: The applicant is advised that the owners/developers of all new residential units are required to purchase the bins required for each unit. The bins have to meet the Council's specifications and can be purchased directly by contacting the Waste Management commercial team on 029 20717500. Further information regarding waste/recycling and the types of bins required is available in the Supplementary Planning Guidance "Waste Collection and Storage Facilities", which can be found on the Council's website.

RECOMMENDATION 4: The applicant is advised that a commercial contract is required for the collection and disposal of all commercial waste. By law (Environmental Protection Act, 1990, section 34) all commercial premises have a duty of care to ensure that their waste is transferred to and disposed of by a registered waste carrier. Owners or developers of commercial developments/properties who require Cardiff County Council to collect and dispose of their waste can contact the commercial services department on 029 20717500.

RECOMMENDATION 5: The applicant is advised that, as mentioned in section 3.11 of the Waste Collection and Storage Facilities Supplementary Planning Guidance, it is considered best practice to have a Site Waste Management Plan for demolition projects. Materials should be reused and recycled as much as possible.

RECOMMENDATION 6: The developer is advised to contact Cardiff Council Asset Management (AssetManagement@Cardiff.gov.uk) for the necessary Highway licences for any works which would directly abut the adopted highway.

1. DESCRIPTION OF PROPOSED DEVELOPMENT

- 1.1 This application seeks full planning permission for the demolition of a two storey detached former bank that is currently in use as a hairdressing salon and its replacement with a three storey building containing 2 x retail units and a one-bedroom flat at ground floor level and 2 x 3 bedroom and 1 x 2 bedroom apartments on the first and second floors.
- 1.2 The ground floor commercial units (class A1 retail use) would have internal areas of 69 and 72 square metres and would be expected to provide 4 full time and 2 part time jobs.
- 1.3 The building will be 15m wide at ground floor level on the Pantbach Road frontage, which is around 3.5m wider than the existing building, and will be approximately 22.5m long (the existing building being around 16.5m long including its rear extensions). There will be a gap of around 2m between the front elevation and the footway on Pantbach Road, which will accommodate steps, a level access into the retail units and three small strips of planting. The space to the side of the building, fronting onto Heol Y Bont, will contain a further area for landscaping, a bin storage area within a timber structure, 2 cycle stands and four car parking spaces. A covered cycle store and an additional bin storage area are proposed to be provided to the rear of the building. Access into the apartments will be from Heol Y Bont.
- 1.4 At first and second floor level the side elevation facing Heol y Bont will feature 3 projecting gables with pitched roofs and inset balconies and there will be a two storey extension on the side of the building abutting the boundary with the Canolfan Beulah garden. The building will be finished in white render and the roof will be of natural slate. The front elevation facing Pantbach Road will contain shopfronts at ground floor level and a large area of glazing to one side at first and second floor levels which will be recessed to form additional shallow balconies for one of the flats.

2. DESCRIPTION OF SITE

- 2.1 The application site occupies a corner location bounded by Pantbach Road and Heol Y Bont at the southern end of the Rhiwbina Village Local Centre. To the north is the Canolfan Beulah (community church centre and garden) and to the east, are residential properties. On the opposite side of Heol Y Bont there is an Indian food shop/ takeaway and opposite the site on Pantbach Road is a single

storey chiropractic clinic with residential bungalows further to the south.

- 2.2 There is a single detached building on the site, facing Pantbach Road. The building measures around 11.5m wide (including single storey flat roofed side extension) x 16.5m long (including two rear extensions) and has a steeply pitched roof rising to 8m. The main part of the building and two of the extensions are finished in white painted render with the longest rear extension being brick. The front elevation contains a central entrance door flanked by two windows with brick surrounds, with a fascia above.
- 2.3 To the rear of the building is a car park bounded by a brick wall. The side of the building is set back from Heol Y Bont by 3.5m – 6m and there is a small unenclosed forecourt fronting Pantbach Road. The ground slopes down towards the north and there is a low retaining wall along half of the frontage.

3. **SITE HISTORY**

- 3.1 17/00208/MNR – Proposed extension & works to provide 1 no. retail unit to provide coffee shop, 1 no retail unit to provide hairdresser, 3 no. 3 bedroomed apartments. Refused – proposed building out of keeping with the scale, pattern and appearance of development in the surrounding area and detrimental to the amenities of residents of 1, Heol Y Bont and users of the Canolfan Beulah gardens in that the building would appear obtrusive and overbearing. Appeal dismissed.
- 3.2 08/02131/W – Installation of automated telling machine
- 3.3 05/00568/W - Installation of automatic telling machine
- 3.4 04/01092/W – DDA implementation works. new insitu concrete access ramp and steps to front entrance, with mild steel painted grey handrails. install new external task lighting to front and side elevation
- 3.5 01/01145/N – Removal of existing ramp (non-compliant) and the installation of a new ramp with handrails
- 3.6 89/01169/N – Proposed extension to existing banking premises to form interview room.

4. **POLICY FRAMEWORK**

- 4.1 *Cardiff Local Development Plan 2006-2021:*
KP5 (Good Quality and Sustainable Design);
KP13 (Responding to Evidenced Social Needs);
EN7 (Priority Habitats and Species);
EN10 (Water Sensitive Design);
T5 (Managing Transport Impacts);
R1 (Retail Hierarchy);
R5 (Local Centres);
C3 (Community Safety/Creating Safe Environments);

W2 (Provision for Waste Management Facilities in Development).

4.2 *Supplementary Planning Guidance:*

Waste Collection and Storage Facilities (October 2016).

Cardiff Infill Sites (November 2017).

Managing Transportation Impacts (Incorporating Parking Standards) (2018).

Shopfronts and Signage (October 2011).

4.3 *Planning Policy Wales (Edition 10 – December 2018):*

2.2 All development decisions, either through development plans policy choices or individual development management decisions should seek to contribute towards the making of sustainable places and improved well-being.

3.4 Meeting the objectives of good design should be the aim of all those involved in the development process and applied to all development proposals, at all scales.

3.6 Development proposals must address the issues of inclusivity and accessibility for all.

3.7 Developments should seek to maximise energy efficiency and the efficient use of other resources (including land), maximise sustainable movement, minimise the use of non-renewable resources, encourage decarbonisation and prevent the generation of waste and pollution. An integrated and flexible approach to design, including early decisions regarding location, density, layout, built form, the choice of materials, the adaptability of buildings and site treatment will be an appropriate way of contributing to resilient development.

3.9 The layout, form, scale and visual appearance of a proposed development and its relationship to its surroundings are important planning considerations.

3.11 Local authorities are under a legal obligation to consider the need to prevent and reduce crime and disorder in all decisions that they take.

3.47 Higher densities should be encouraged in urban centres and near major public transport nodes or interchanges, to generate a critical mass of people to support services such as public transport, local shops and schools

4.1.31 Planning authorities must ensure new housing, jobs, shopping, leisure and services are highly accessible by walking and cycling.

4.1.32 Provision for active travel must be an essential component of development schemes and planning authorities must ensure new developments are designed and integrated with existing settlements and networks, in a way which makes active travel a practical, safe and attractive choice.

4.1.34 New development must provide appropriate levels of secure, integrated, convenient and accessible cycle parking and changing facilities. As well as providing cycle parking near destinations, consideration must also be given to where people will leave their bike at home.

4.1.36 Planning authorities must direct development to locations most accessible by public transport. They should ensure that development sites which are well served by public transport are used for travel intensive uses, such as housing, jobs, shopping, leisure and services, reallocating their use if necessary.

4.1.39 To encourage the use of Ultra Low Emission Vehicles (ULEVs), the planning system should encourage and support the provision of ULEV charging points as part of new development. Where car parking is provided for new

non-residential development, planning authorities should seek a minimum of 10% of car parking spaces to have ULEV charging points. Planning authorities should ensure the level, location and type of charging provision is appropriate to the scheme and local circumstances. Consideration should be given to:

- the time users are likely to be present at the site;
- the number of vehicles accessing the site;
- the number of existing charging points in the immediate and wider area;
- other proposed emission mitigation measures.

4.1.52 Planning authorities must require good standards of car parking design, which do not allow vehicles to dominate the street or inconvenience people walking and cycling. Car parking should be overlooked by surrounding properties, to provide natural surveillance.

4.1.53 Parking standards should be applied flexibly and allow for the provision of lower levels of parking and the creation of high quality places.

4.2.22 Planning authorities will need to ensure that in development plans and through the development management process they make the most efficient use of land and buildings in their areas. Higher densities must be encouraged on sites in town centres and other sites which have good walking, cycling and public transport links.

4.2.23 Infill and windfall sites can make a useful contribution to the delivery of housing. Proposals for housing on infill and windfall sites within settlements should be supported where they accord with the national sustainable placemaking outcomes.

4.3.3 The Welsh Government identifies a number of overarching objectives for retail and commercial centres, which planning authorities should aim to deliver through their development plan and development management decisions ensuring their maximum contribution to the well-being goals. The planning system must:

- promote viable urban and rural retail and commercial centres as the most sustainable locations to live, work, shop, socialise and conduct business;
- sustain and enhance retail and commercial centres' vibrancy, viability and attractiveness; and
- improve access to, and within, retail and commercial centres by all modes of transport, prioritising walking, cycling and public transport.

4.3.30 Although retailing (A1) uses should underpin retail and commercial centres, it is only one of the factors which contribute towards their vibrancy.

5.12.9 Adequate facilities and space for the collection, composting and recycling of waste materials should be incorporated into the design and, where appropriate, layout of any development as well as waste prevention measures at the design, construction and demolition stage.

6.4.5 Planning authorities must seek to maintain and enhance biodiversity in the exercise of their functions. This means development should not cause any significant loss of habitats or populations of species, locally or nationally and must provide a net benefit for biodiversity.

6.4.22 The presence of a species protected under European or UK legislation, or under Section 7 of the Environment (Wales) Act 2016 is a material consideration when a planning authority is considering a development proposal which, if carried out, would be likely to result in disturbance or harm to the species or its habitat and to ensure that the range and population of the species is sustained.

6.6.17 New developments of more than one dwelling or where the area covered by construction work equals or exceeds 100 square metres also require approval from the SuDS Approval Body (SAB) before construction can commence. Adoption and management arrangements, including a funding mechanism for maintenance of SuDS infrastructure and all drainage elements are to be agreed by the SAB as part of this approval. This will ensure that SuDS infrastructure is properly maintained and functions effectively for its design life.

4.4 *Technical Advice Note 4 – Retail and Commercial Development (2016).*

4.5 *Technical Advice Note 12 - Design (March 2016).*

4.6 *Technical Advice Note 18 – Transport (2007).*

5. **INTERNAL CONSULTEE RESPONSES**

5.1 *Transportation:* The existing site gains its highway access via a crossover from Heol y Bont leading into a car park. On the frontage of the site with Pantbach Road there is a level difference and a small wall. There is also a small crossover kerb which is not in use. The car park is proposed to be redeveloped and 4 parking spaces will be provided perpendicular to Heol y Bont and in the vicinity of the existing car park access, although these will extend for a greater distance on Heol y Bont than the current access. It is assumed that each of the parking spaces will be allocated to the flats, and will not be usable by staff/customers of the retail units. Whilst in principle the form of access is acceptable, we are seeking that the double yellows on both sides of Heol y Bont be extended east beyond the line of car parking (requiring a Traffic Regulation Order (TRO)) and for appropriate amendments to the footway, which would operate as a dropped kerb over the access to the parking spaces. This is to ensure that the redevelopment does not result in traffic safety issues. However, the current design would require the relocation of the telegraph pole and its new location should be marked. The parking spaces are immediately adjacent to traffic calming, and this will need to be factored into the design and this calming may need amending.

5.2 At the front of the site it is proposed that there will be steps down from the retail units to the footway, as well as a level access on the south side. It will be necessary for footway improvements to be proposed in this location, including the removal of the redundant access bellmouth, and it may be necessary for street furniture to be provided to prevent unwanted parking on the footway.

5.3 A Section 278 legal agreement would be required to deal with the detail of the various footway/highway works set out above. A sum of £10,000 will be required via a S106 legal obligation to deal with the TRO process for the extended double yellow lines, (including legal and other administrative expenses, the physical costs of providing the lines and signage plus on-going monitoring of traffic and safety issues once the TROs are in place).

5.4 Whilst some cycle parking is shown on the plans, more detail is required, and it will need to accord with the SPG. A total of 9 cycle spaces will be needed for the

flats, and these will need to be secure, covered and have minimum horizontal spacings of 0.5m (and have suitable independent access from the public highway). Similarly, cycle parking will be required for the staff of the retail units. Whilst there will also need to be cycle parking for customers of the retail units, this could be dealt with via a single Sheffield stand outside the units. Further details on cycle parking should be provided.

- 5.5 *Drainage:* Recommend deferring the application until full details relating to flood risk and surface water drainage proposals have been submitted, or imposing conditions requiring, as a minimum, the approval of a drainage strategy advising how they propose to dispose of the surface water from the site and also a site investigation report to prove/disprove the viability of infiltration methods.
- 5.6 *Waste Strategy & Minimisation Officer:* As mentioned in section 3.11 of the Waste Collection and Storage Facilities Supplementary Planning Guidance, it is considered best practice to have a Site Waste Management Plan for demolition projects. Materials should be reused and recycled as much as possible.
- 5.7 The proposed waste/recycling storage areas for the residential and commercial units have been noted and are acceptable. Each apartment will require the following for recycling and waste collections: 140 litre bin for general waste; 25 litre kerbside caddy for food waste; green bags for mixed recycling (equivalent to 140 litres). The kitchens should be designed to allow the separation of waste into three waste streams; general, recycling and food waste, in order to encourage the correct disposal of waste. A commercial contract is required for the collection and disposal of all commercial waste

6. **EXTERNAL CONSULTEES RESPONSES**

- 6.1 *Wales and West Utilities:* Have provided an extract from their mains records showing those pipes owned by Wales & West Utilities in its role as a Licensed Gas Transporter (GT) together with a comprehensive list of General Conditions for guidance.

7. **REPRESENTATIONS**

- 7.1 The original application was advertised by neighbour notification. Two petitions opposing the application were received (one of 113 signatures and one, submitted by the Beulah United Reformed Church, of 57 signatures), along with a further 29 individual objections. The reasons for objection were given as:
- 1) Increased traffic congestion;
 - 2) Impact on parking in area, particularly Heol Y Bont. There will be no provision for staff or customer parking, or for disabled parking or delivery vehicles. Cars that now park at the premises will be displaced. These roads are village roads and not built to cope with the delivery of items to commercial units.
 - 3) Appearance out of keeping with area, particularly the dormer/balcony elements. The building is too large, too tall, out of proportion with surrounding properties and not in keeping with the character of the area;

- 4) Detrimental impact on highway safety - inconsiderate parking and dangerous dropping-off activity by Scout hall users is already a problem; children and parents walking to local school will be at risk. The building and proposed landscaping will also hinder visibility for drivers at the junction and using the proposed parking spaces.
- 5) Loss of privacy to adjacent community garden;
- 6) Overbearing on houses on Heol Y Bont, particularly no.1;
- 7) There is already a hair salon and plenty of coffee shops and other retail outlets in the area. There is no need for more;
- 8) Increased noise disturbance caused by business use;
- 9) The application doesn't indicate what the commercial premises will be used for or what the opening hours would be, and the figures for numbers employed are unrealistic;
- 10) Detrimental impact on the character of the area. The proportion of proposed commercial floorspace is too large – the area is supposed to be residential;
- 11) The applicant's statement which says the existing building makes no positive contribution to the public realm is wholly subjective.
- 12) The current owner has done very little to endear himself to the local community.
- 13) Scaffolding will cause a danger during construction. Pedestrians can't be diverted onto the road;
- 14) Negative impact on the character of the adjacent Rhiwbina Garden Village Conservation area and nearby listed buildings;
- 15) The development will cause increased pollution for local residents;
- 16) The site should be redeveloped as a car park;
- 17) The proposed use as flats is out of keeping with the character of the area;
- 18) The applicants have not listened to the views of local residents and not given them a chance to give any feedback on the designs.
- 19) There will not be enough amenity space, cycle parking provision for residents and customers or space for waste storage
- 20) Loss of light to 1 Heol Y Bont which has windows in the side elevation;
- 21) Increased litter and refuse problems;
- 22) The need to make the development viable by including residential units does not justify overdevelopment of the site;
- 23) Beulah church will not allow access onto its land to construct this development;
- 24) The development will be more overbearing on the adjacent church garden than the refused scheme would have been as it is taller. It will adversely affect the amenities of users of the garden.

7.2 The Rhiwbina Civic Society also submitted comments on the application, stating that although this proposal addresses some of their objections to the previous application (17/00208/MNR) - i.e. the proposed finish, with reduced areas of glass; the inclusion of views of adjacent buildings; the inclusion of some design features that appear to be more in keeping with the surroundings - the issue of height has not been resolved, the design of the balconies is intrusive, the development will have an impact on the Rhiwbina Village conservation area and the issues of traffic impact and parking remain of

concern.

7.3 Councillors Jayne Cowan, Adrian Robson and Oliver Owen objected to the application for the following reasons –

- a) We believe that the proposed development is out of keeping with the local character as it is much larger than the surrounding buildings. The building comes forward of the building line on Heol y Bont and, whilst corner plots are often statement buildings, this is out of scale with those opposite and adjacent to it. Due to the gradient of the railway bridge, the construction would be the most prominent building as you approach Rhiwbina village from Pantbach Road, dominating the immediate area.
- b) The frontage to Heol y Bont is a design which is not the local vernacular – in fact we are struggling to recall another example of this type of design in the Rhiwbina ward. It also appears that the frontage to Pantbach Road will be changed to essentially a glass ground floor.
- c) We would question whether there is adequate amenity space for residents of the new flats, for example the ground floor (which includes a flat) does not appear to have any garden space unless the parking spaces are included.
- d) As with the previously rejected application, there is also an impact on the adjacent sites. It would be overbearing and obtrusive to both 1 Heol y Bont and to Canolfan Beulah gardens which is an important community and religious resource. This aspect formed a major consideration during the dismissal of the appeal of the previous application.
- e) There appears to be no space for vehicles to turn around on site (unlike the current car park arrangements) and it would a vehicle reversing into or out the parking bays. The section of Heol y Bont by the site is extremely busy and parking on this road causes the road to be a pinch point. In addition the many users of the scout hall mean that traffic is regularly congested at this location and the proposals removes some on street parking which is desperately needed at this junction.
- f) We would urge the committee to refuse the application for the reasons above, in addition to previous committee and appeal decisions. And we would request the committee to again consider the highways implications of the creation of four new parking spaces accompanying the removal of off-street parking.
- g) We believe that this development would cause serious detriment to the existing traffic problems in Heol y Bont by the nature of the vehicle movements to access/egress the site.

7.4 The amended plans, received on 09 September 2019, were advertised by neighbour notification. 22 individual objections and a petition of 111 names have been received objecting to the amended proposals. 2 individual expressions of support along with a petition of 230 signatures supporting the application have been received.

7.5 The grounds for objection to the amended plans are summarised as follows–

1. The changes are cosmetic only. The application is basically the same

- and should therefore be rejected.
2. The amendments have not addressed the issue of road safety. Council officials should re-visit the site now that the school term has re-started.
 3. The development will lead to more dangerous parking and push visitors further down Heol y Bont and onto Heol Cae Rhys.
 4. The development will be overbearing.
 5. It is out of scale with its surroundings and would dominate the skyline.
 6. The proposed parking spaces are in a dangerous position.
 7. The design is out of keeping with the Garden Village and the Beulah Chapel. It is too modern and too large.
 8. It would have a negative impact on nearby listed buildings and the Conservation Area.
 9. Not enough parking is proposed. There is no provision for disabled customers or delivery vehicles.
 10. There will be increased traffic congestion.
 11. Scaffolding will cause a danger during construction.
 12. Increase in noise disturbance from business use
 13. No indication of what the commercial premises will be used for or the opening hours and no realistic indication of how many jobs will be created.
 14. Loss of privacy to neighbouring houses
 15. Objectors have been given only 14 days to respond to the amendments and the Planning Application Tracker has not been updated since the last Planning Meeting in August. It appears that the Council Planning Department are subtly in favour of this application being approved. We found the language context of the Planning Department quite leading in favour at the last planning meeting.
 16. Confirmation is needed that a bat survey has been undertaken.
 17. The plans do not show the gradient of Pantbach Road. Image RH/01 is misleading, Pantbach Road is shown to be almost flat. The development site is already higher than Canolfan Beulah - this has to be taken into account.
 18. It will be out of keeping in a residential area.
 19. Overshadowing of neighbouring land, particularly 1 Heol Y Bont.
 20. The applicants have not engaged with local residents to take on board their views and residents have not been able to give any feedback on the designs.
 21. There are already enough retail outlets in the area.
 22. The site should be developed as a car park.
 23. There would not be enough amenity space, waste storage space or cycle parking.
 24. There is nowhere for commercial vehicles to pull in or park safely off the street.
 25. The development is now worse as two balconies have been added to the front (Pantbach) road side of the development. It is not clear whether these additional balconies will be used by residents or patrons of the commercial buildings. Balconies are out of keeping with the local area and will lead to loss of privacy.

26. Other than some plans and superimposed drawings there is no amended application to include the changes making it difficult to fully analyse the proposal and provide full objections and is misleading.
27. The Design and Access statement does not appropriately describe the local Context.
28. The plans include 2 commercial properties which would increase the need for waste facilities, smell extraction and increase noise nuisance.
29. The application reduces immediate on-road parking. Most neighbours do not have sufficient off-street parking and also require the road to park on.
30. There won't be a safe place for pedestrians, especially school children to cross at this end of the road.
31. Council guidelines state that the council do not have to accept plans within one year of refusing the same or a very similar scheme.

7.6 The petition of 11 signatures opposing the scheme states that the key objections are –
 Size – sheer overdevelopment of the site.
 Not in keeping with other commercial and residential properties in the area.
 Its imposing nature spoiling the entrance to one of Wales' best garden villages.
 Exacerbation of traffic/parking problems on Pantbach Road/Heol Y Bont.

7.7 The individual letters of support for the application state that:

- a) Refusal of the application would drive away another investor and leave another boarded up shop.
- b) The development will be a good “old and modern “ mixture of flats and shops which will mean more local jobs, better business for Rhiwbina, better modern looking buildings and encouragement for more investment.
- c) There is an anti-development and anti-change attitude in Rhiwbina which is driving investment away. Several Rhiwbina shops have already closed down and if this attitude continues more will close and the area will deteriorate.

7.8 The petition of 230 signatures supporting the scheme states that the signatories “having seen the recently submitted revised proposal to the council wish to declare our support to the development and the planning officer’s reasons and recommendations to Planning Committee to APPROVE this application in accordance with the Officer’s report dated 14 August 2019. The proposed development complies fully with all planning criteria as analysed and reported by the planning officer. It is a much-needed investment at this local shopping centre and we appeal to the Planning Committee to endorse their planning officer’s recommendation for the benefit of the whole Rhiwbina community.”

8. **ANALYSIS**

8.1 This planning application was deferred at the Committee meeting on 17th July, 2019 for a site visit which subsequently took place on 5th August, 2019. The application returned to the Planning Committee on 14th August 2019 and deferred to enable officers to draft reasons for refusal based on the

Committee's objections to the proposal on the grounds that the development would have an adverse impact on the amenities of neighbouring occupiers, that it would be out of keeping with the surrounding area due to its height, scale and massing and that it would have an adverse impact on the Rhiwbina Garden Village Conservation Area.

- 8.2 On 09 September 2019 the applicant submitted amended plans which are intended to address the Planning Committee's reasons for objection. The amended plans show:
- the roof pitch reduced from 35 degrees to 30 degrees and the roof ridge lowered to 9m (from 9.4m);
 - the projection of the balconies reduced to 1.2m (from 1.65m);
 - replacement of the rectangular-shaped dormer balconies with a pitched roof configuration;
 - replacement of metal cladding with a contrasting colour render finish;
 - replacement of the brickwork wall facing the church hall garden with a white render wall to match the church hall and provide more light reflection;
 - replacement of the obscurely glazed rectangular shaped window facing the garage and church hall garden with two small high level obscurely glazed windows;
 - an offer to provide two semi-mature trees in the church hall garden to replace the mature tree that was recently cut down;
 - an option of omitting one of the shop units and providing one larger shop unit instead.
- 8.3 With regard to the policy implications of the proposals, the application site lies within the Rhiwbina Village Local Centre, where A1 retail facilities are favoured, subject to the proposal being of a scale appropriate to the particular centre and the retention of residential accommodation at upper floors, in accordance with policy R5 of the Cardiff Local Development Plan. The application therefore raises no land use policy concerns.
- 8.4 The main considerations with regard to this amended proposal are the impact on visual and residential amenity and the character of the area, whether the current proposals overcome the concerns identified by the Planning Inspector who dismissed the appeal against the Council's refusal of the previous application (17/00208/MNR) and whether they also address the Planning Committee's reasons for resolving to refuse this application.
- 8.5 With regard to application 17/00208/MNR, the Inspector identified the main issues as being the effect of the proposed development on the character and appearance of the surrounding area, and the effect on the amenities of neighbours.
- 8.6 On the first point, the inspector stated that :
- 'The proposal would introduce a building of considerable scale and massing, occupying much of its plot. Its contemporary design, including highly prominent and extensive areas of glazing and first floor balconies wrapping the Pantbach Road and Heol-y-Bont elevations, would do little to minimise its presence. That*

is, its significant proportions, large shallow pitched roof design and solid to void ratio of the fenestration would give the building a dramatic and bulky appearance.'

- 8.7 The Inspector had no objections to a building of contemporary design but added that *'Given the character of the surrounding built form, the considerable footprint, scale and massing of the proposed development together with its abrupt and unyielding design, I consider that it would have little visual or physical affinity with the more modestly detailed and proportioned properties to which it would most closely relate. Its overall scale, design and extensive site cover would result in a dominating and intrusive presence. It would thus have a harmful effect on its surroundings.'*
- 8.8 In terms of scale and massing, the current proposals have addressed these concerns by significantly reducing the footprint of the proposed building, respecting the existing building line to both street frontages, and minimising bulk and massing by accommodating rooms in the roof space and breaking up the elevations using projections and recesses. Contrasting materials were also originally proposed but these have been omitted in the latest amended scheme, although contrasting colours are specified.
- 8.9 The design of the building was also improved by omitting the extensive areas of glazing and balconies wrapping around the corner of the building which were a feature of the refused scheme in 2017. There will be a large area of glazing on the right hand side of the front elevation above the shopfronts but this will be recessed and divided into smaller sections, which helps to articulate the floors, and other windows will be well-aligned and will reflect the proportions of existing windows in the area. The external finishing materials – white render and natural slate – reflect the materials used on existing buildings in the immediate locality.
- 8.10 With regard to the effect on the amenities of neighbours, the Inspector in dismissing the appeal did not consider that the development would have such an unacceptable overbearing impact on the occupants of the adjacent house at 1 Heol Y Bont that planning permission should be withheld on that basis. The development now proposed is significantly narrower and less bulky than the 2017 scheme at its closest point to 1 Heol Y Bont, and is set further away from the boundary. The latest amendments also reduce the ridge height of the proposed building by at least 0.7m, further reducing its potential impact. Therefore it is considered that there would be no reasonable grounds for refusal of this application on the basis of overbearing impact on neighbouring residents. Also, there are no upper floor windows in this elevation and the ground floor patio doors will be screened by a wall, therefore there will be no unacceptable loss of privacy to residents of 1 Heol Y Bont.
- 8.11 Regarding the amenities of users of the garden to the rear of Canolfan Beulah., the Inspector noted that *'The proposed development would extend along the entire length of the common boundary with this adjoining property. The scale and massing of the development, together with its close proximity, would have an unacceptable overbearing and obtrusive impact. In these particular circumstances, the intervening single storey flat roof garage would do little to*

minimise the adverse impact. The proposal would therefore have a harmful effect on the amenities of the users of this garden...'

- 8.12 The building now proposed does not extend along the entire length of the boundary with the Canolfan Beulah Community Church Hall and Garden but leaves a gap of around 2m at the eastern side, and this elevation has also been stepped to reduce its bulk and massing. The only windows in this elevation facing the garden are two ground floor windows, which will be screened by an existing garage and proposed boundary wall, and two small obscurely glazed first floor windows, one serving a bedroom and one a hallway. Roof lights rather than dormer windows will be used to light the second floor rooms in this part of the building, which are in any case non-habitable spaces. It should also be noted that there is a driveway, which is approximately 4.6m wide, along with the aforementioned garage, separating the application site from the church garden. A tree located within the church garden which provided a certain amount of screening, mentioned in the applicant's original supporting documents, has, however been removed.
- 8.13 Given the changes to the design and scale of the proposed building, including the latest amendments, it is not considered, on balance, that refusal of the application on the grounds of overbearing impact on users of the church garden could be justified.
- 8.14 With regard to the objections to the initial proposals (as detailed in paragraphs 7.1 to 7.3 of this report):
- 1) Highways/Transportation officers have raised no concerns regarding traffic congestion. The proposed development is not of such a large scale that significant numbers of additional vehicles will be attracted to the site.
 - 2) Highways/Transportation officers have raised no concerns with regard to parking or deliveries. The residential units would have their own off-street parking spaces, which accord with the requirements of the Council's adopted standards as set out in the Supplementary Planning Guidance "Managing Transportation Impacts (Incorporating Parking Standards)" (2018). There is no requirement for the retail units to provide off-street car parking spaces for staff or customers, or space for delivery vehicles. The site is within the existing Local Centre, allowing for combined trips to be made, and is easily accessible by public transport and by walking and cycling. Disabled customers would be able to park on the adjacent highway. Cycle parking and storage facilities will be provided in accordance with the Council's adopted standards. There are parking and waiting restrictions on the adjacent roads which will control the times and locations at which deliveries can be made, and it would be unreasonable to refuse planning permission for this development on the grounds that it did not provide off-street delivery facilities.
 - 3) The issue of the appearance and scale of the building is discussed above. The proposals are considered to have overcome the reasons for refusal of the previous application.
 - 4) Highways/Transportation officers have raised no concerns regarding

highway safety. Illegal and dangerous parking are matters for the Council's Parking Enforcement team or the police, and are dealt with under other legislation.

- 5) There will be no habitable room windows overlooking the adjacent garden other than one bedroom window, which will be obscurely glazed. A planning condition can be used to ensure that it remains so.
- 6) The development will not be unacceptably overbearing when viewed from houses on Heol Y Bont. This issue is discussed above.
- 7) The site is within the Local Centre, where planning policy encourages retail development. It is not necessary for the applicant to prove that there is a need for the proposed retail units.
- 8) There is already a commercial unit on the site. The proposal does not involve any development that would potentially cause unacceptable noise nuisance. Excessive noise would in any case be controlled under Environmental Health legislation.
- 9) The applicant indicates that the use of the units would be within class A1 (i.e. 'shops'). It would be unreasonable to require any further detail. Given that the site is within the local centre and the units will not be used for entertainment or hot food sales, it is not considered necessary to restrict the opening hours. The figures given for number of employees are not relevant to the consideration of the application – it is clear that there will be some employment provided by the development but the number of jobs created is not a determining factor in this case.
- 10) The site is not within a residential area but is within the Rhiwbina Village Local Centre, where the provision of shops is in accordance with the area's character. The amount of commercial floorspace is considered to be reasonable and to be in proportion with the size of the building.
- 11) The existing building is not listed and is not within a conservation area, and permission is not required for its demolition.
- 12) The character and actions of the applicant are not relevant to the determination of this application.
- 13) This is not a material planning consideration. Other legislation deals with issues such as the location of scaffolding and temporary works affecting the public highway.
- 14) The Inspector in considering the appeal relating to the previous application concluded that development on this site would not affect the Conservation Area or listed buildings, stating that: *'I observed that Rhiwbina Garden Village displays many of the ideas of the early pioneers of Garden City design; there is a careful approach to the layout of houses, their shape, design, orientation and grouping with a co-ordinated palette of materials throughout. It is these details and qualities that, in part, make up the garden village style that is so well preserved. Nevertheless, it is the row of shop units on Heol y Deri, and at the periphery of the CA, that would have the closest physical and visual relationship with the appeal site. It would appear that these units were built at a later date and have clearly been altered over time, albeit I accept that they may have a strong association with the local community. That being said, the cumulative effects of the alterations to the shop units, the lack of understanding of context in the design of several of the intervening buildings together with the noise and traffic on*

Heol y Deri and Pantbach Road results in a different ambience and character to this part of the CA. With this in mind, and as the proposed development would be read predominantly in the context of the other commercial properties and existing dwellings in the vicinity of the site which fall outside the CA, I do not consider that it would adversely affect the special features of the CA or fail to preserve the character or appearance of its setting.'

It would therefore be unreasonable to conclude that this amended proposal would adversely affect the conservation area or nearby listed buildings.

- 15) A development of two shops and four flats will not generate any significant levels of pollution.
- 16) The site is privately owned and the Council cannot insist that it is developed in any particular way. The Council must consider the proposal that has been submitted and determine whether it is in accordance with national and local planning policies and guidance.
- 17) The proposed use – a mixture of retail development and flats - is in keeping with the character of the Local Centre.
- 18) As this is not a 'major development' as defined in the Town and Country Planning (Development Management Procedure) (Wales) Order 2012 (as amended) the developer was under no obligation to carry out any pre-application consultation with local residents. This does not constitute grounds for refusal of the application.
- 19) Highways/transportation and waste management officers are satisfied with the cycle parking facilities and waste/recycling storage space that have been illustrated on the plans, which accord with the Council's adopted standards. There will be a small amount of private outdoor amenity space for the residents of the ground floor flat, but the upper floor flats will have only balconies for private outdoor space. However, each of these balconies will measure around 5.4 square metres, with flat 4 having an additional 2.7 square metres provided by the second balcony on the front elevation, and these will face south-west and south east. This accords with the guidance given in the SPG "Cardiff Residential Design Guide" (2017) which states that "*Balconies will need to be provided for apartments with no direct, safe or convenient access to a communal garden or other suitable public green spaces within their vicinity. They should be a minimum of 5m². They should be located in positions where they receive direct sunlight for some part of the day, and preferably with a southern aspect.*"
- 20) There would be some additional shading of the front and western side of 1 Heol Y Bont but this would not be significant and would not in itself constitute adequate grounds for refusal of the application. 1 Heol Y Bont does not have windows in the upper storey facing this site and its main outlook is to the front and rear. The proposed building is only marginally taller than a standard two storey building and will be separated from 1 Heol Y Bont by an existing driveway and garage, which will allow adequate levels of light to reach the neighbouring property.
- 21) It cannot be assumed that customers of the shops will drop litter in the vicinity of the site, and adequate refuse/recycling facilities will be provided for the flats as well as the commercial premises. This does not

constitute grounds for refusal of the application.

- 22) The reasons for including residential units in the proposals are not relevant to the determination of the application. The Council must consider the application as submitted. The viability of the development is not a material planning consideration in this case. It is not considered that the proposals constitute overdevelopment of the site as the building will be of an acceptable scale, there will be adequate car parking, cycle parking, refuse/recycling storage and outdoor amenity space and there will be no unacceptable impact on amenity.
- 23) Beulah church will not be under any obligation to allow access onto its land and can refuse to do so. This is an issue to be resolved between the two parties and is not a material planning consideration.
- 24) The ridge height of the proposed building is approximately 40cm taller than that of the building that was refused planning permission and the tallest part of the roof will be around 0.9m closer to the boundary with the church garden. However, the previous building would have been located directly on the boundary for the full length of the site and the elevation facing the gardens would have been a largely blank wall containing a row of bedroom windows at first floor level. The inspector, dismissing the appeal, noted that the proposed development would extend along the entire length of the common boundary and concluded that it was the 'scale and massing of the development, together with its close proximity' that would have an unacceptable overbearing and obtrusive impact. The building now proposed will have only one obscurely glazed window in this elevation facing the gardens, will not extend fully along the boundary, will be set back by around 1m from the boundary towards the rear and its massing will be further broken up by changes in eaves heights and the use of contrasting materials. Although the building will still cause a certain amount of shading and will have an impact on views from the church gardens, it is considered that the design features identified above will mitigate this impact and that the building will not appear so overbearing that the refusal of planning permission could be justified on these grounds.

8.15 The concerns of the Rhiwbina Civic Society are largely addressed in the response to the objections above. With regard to the design of the balconies, whilst this is contemporary and does not exactly match the traditional appearance of balconies on older properties, it is considered to be an acceptable modern interpretation of traditional features which is appropriate to the building that is proposed and will make a positive contribution to the character of the area.

8.16 With regard to the objections raised by Councillors Jayne Cowan, Adrian Robson and Oliver Owen:

- a) The building will be larger than adjacent buildings but this is considered acceptable in this case. This is a corner site on a primary route within a Local Centre. The 'Infill Sites' SPG (paragraph 3.20) states '*Some appropriate sites may be able to accommodate slightly taller buildings where they make a positive contribution to the street scene, such as*

corner sites, on primary routes, and in higher density areas with variation in heights and massing'. It will also be separated from adjacent buildings by at least 4m on the Pantbach Road frontage and around 8m to 1 Heol Y Bont, which will reduce its impact. There is a variation in building heights and massing in this area and an existing example of a larger building being located on a corner site within this Centre – the Beulah Church on the northern side of Beulah Road is larger than adjacent buildings but does not appear out of place due to its corner location and separation from adjoining properties. The building will be visually prominent as a result of the prevailing topography and due to other buildings in the vicinity having been set down below the level of the highway but this does not necessarily mean that it will be over-dominant or have an unacceptable impact on visual amenity or the character of the area. Regarding the building line to Heol Y Bont, the eastern end of the new development will respect this line but it will then follow the orientation of the existing building towards Pantbach Road. This reflects the existing situation, which results from the alignment of the roads. The building on the opposite side of Heol y Bont also breaches the building line.

- b) There is no requirement for the building to match the 'local vernacular'. The Inspector who dismissed the appeal relating to the previous proposal stated that they had no objections to a building of contemporary design on this site. The site is not within the Rhiwbina Garden Village conservation area, where it would be expected to pay greater attention to the vernacular style, and there is already a mixture of building styles and sizes in the surrounding area. The absence of an existing building matching this design does not necessarily mean that it is unacceptable. The large area of glazing on the ground floor is considered appropriate as the premises will be in use as shops, reflecting the existing shops and other commercial premises in the Local Centre.
- c) The issue of amenity space is discussed above.
- d) The impact of the development on the Canolfan Beulah gardens and on 1 Heol y Bont is discussed above.
- e) Highways and transportation officers have raised no concerns regarding the car parking proposals and have not requested a turning space within the site. It should be noted that cars already have to reverse into or out of the driveways of houses on Heol y Bont and the parking spaces associated with the 'Gateway of India' on the opposite side of the road. Parking will not be permitted on the highway adjacent to the application site and a reduction in on-street parking in this location close to the junction may help to relieve some of the congestion identified by objectors, which appears to arise mainly from the use of the community hall on Heol Y Bont. Highways/transportation officers have requested a S106 financial contribution from the developer to pay for Traffic Regulation Orders and works to extend and manage the parking

restrictions in the area.

- f) The development will not result in the loss of any public off-street parking spaces – the current car park is in private ownership and is not available for public use. It would be unreasonable to refuse planning permission for this development on the grounds that the use of the four parking spaces will reduce the amount of on-street parking available to the general public. The on-street parking in this area is not needed by residents as the houses on Heol Y Bont have private driveways and off-street parking. On-street parking in this location is mainly used by visitors to the community hall or to the shops in the local centre. As the area is easily accessible by public transport and by walking and cycling, and given the commitment of the Welsh Government and Cardiff Council to encourage active travel and reduce reliance on the private car, it is not considered reasonable to insist that on-street parking spaces are retained. In this case it would appear that it is the inconsiderate and indiscriminate use of on-street parking that is causing many of the problems identified by residents. The proposed development will provide an off-street parking facility for new residents, who will not have to park on the road, and provide an opportunity to better manage the existing on-street parking situation.
- g) Highways and Transportation officers have no concerns regarding vehicle access and egress and have identified works, such as extending the double yellow lines and reviewing the traffic calming measures, which will mitigate the impact of the development and could improve the existing situation. As the works are required as a result of the development they will be paid for by the developer via a S106 obligation.

8.17 Regarding the objections received in response to the amended plans:

1. The changes include amendments to the height of the building, the roof pitch and the projection and design of the balconies as well as amendments to the finishing materials and are not considered to be merely “cosmetic”;
2. The Council’s highways and transportation officers have no concerns with regard to this application that could not be addressed by the proposed highway works that will be secured via a legal obligation. The Planning Committee’s proposed reasons for refusal of this application, as debated at the previous planning committee meeting, do not include highway safety.
3. Highways and transportation officers have no concerns with regard to parking. This issue was considered previously.
4. This issue has been considered previously. It was not considered that the original proposal would be unacceptably overbearing and the amended scheme further reduces the height of the building.
5. This issue has been considered previously.
6. Highways and transportation officers have no concerns with regard to the position of the parking spaces. This issue was considered previously. The location of the parking spaces has not been changed.

7. These issues were considered previously.
8. This issue was discussed previously. The original proposals were not considered by officers to have an adverse impact on the Conservation Area (taking into account the Planning Inspector's comments on the refused 2017 scheme) and as the amendments remove the "modern" cladding materials from the front elevation it is considered that the amended scheme will have even less of an impact.
9. The issue of parking has been discussed previously. The amended scheme does not alter the parking arrangements or introduce any further requirement for car parking facilities.
10. Traffic issues were considered previously. The amendments to the development do not have any further implications for traffic generation.
11. This issue was considered previously.
12. This has been considered previously. The amended scheme does not introduce any changes that could lead to a further increase in noise emissions.
13. This has been considered previously.
14. There will be no loss of privacy to adjoining houses. This has been discussed previously. The amendments do not introduce any new windows or other features that could lead to loss of privacy.
15. There is no statutory obligation on local planning authorities to publicise changes to applications. It is at the discretion of the LPA to decide whether further publicity is desirable. In this case, given the level of local interest, it was considered desirable to publicise the amended plans and in cases such as this 14 days rather than 21 are given in order to avoid unnecessary delays, given that the public will already be familiar with the substantive application. With regard to planning officers being "subtly in favour of this application being approved", the role of planning officers is to present the Planning Committee with their professional opinion as to whether the application is acceptable in planning terms. In this case the professional opinion of planning officers is that the application is acceptable.
16. The original application is accompanied by a Preliminary Bat Roost and Nesting Bird Assessment dated March 2019, which concludes that the buildings in question did not show any signs of use by bats, and that they had a low likelihood of supporting a bat roost. This likelihood was further reduced by the urban nature of the surrounding area. The Council's Ecologist has reviewed this report and accepts these conclusions on the basis that precautionary mitigation measures would be introduced to counteract any residual potential for bat roosts that may remain. These precautionary mitigation measures are set out in sections 5.2.1 to 5.3.1 of the Preliminary Bat Roost and Nesting Bird Assessment, and could be secured by a planning condition. Relevant conditions have been added to the recommended conditions in this report.
17. The Pantbach Road elevation shown on drawing 2275/PL/02 B illustrates the road gradient as do the proposed superimposed views 1 to 3. Officers are aware of the topography of the surrounding area and have taken it into consideration in assessing the proposals.
18. This issue has been considered previously. The site is within the Rhiwbina Village Local Centre, where the provision of shops is in

- accordance with the area's character.
19. This issue has been considered previously. The amended scheme does not bring the development any closer to 1 Heol Y Bont and the height of the building has been reduced, which would reduce its impact in terms of overshadowing.
 20. The applicant is under no obligation to consult with local residents or to take their views on board. Consultation is carried out by the Local Planning Authority and residents submit their views directly to the Council rather than to the applicant.
 21. This has been considered previously. It is not necessary for the applicant to prove that there is a need for the proposed retail units.
 22. The Local Planning Authority must consider the acceptability of the development that has been applied for, irrespective of whether others may prefer an alternative scheme. The site is in private ownership and the owner cannot be compelled to provide a car park.
 23. These issues have been considered previously. Highways/transportation and waste management officers are satisfied with the cycle parking facilities and waste/recycling storage space, which accord with the Council's adopted standards, and there will be adequate private outdoor amenity space for the flats, much of it in the form of balconies, in accordance with the guidance given in the SPG "Cardiff Residential Design Guide" (2017).
 24. This has been considered previously. Highways officers have no concerns regarding commercial vehicles.
 25. No new balconies have been added to the plans – the original scheme included balconies on the front elevation. These are clearly for the use of residents of flat 4 as they adjoin its living space and one of its bedrooms. None of the balconies on Heol y Bont will face towards existing houses and those on the Pantbach Road frontage will be more than 21m from the nearest dwelling and separated from it by the highway. A current lack of balconies in the area does not mean that none are acceptable.
 26. The full set of amended plans, along with the previous plans, are available for viewing by the public who can compare the latest proposals with the previous ones.
 27. This type of application does not actually require the submission of a design and access statement, although one was submitted. In assessing an application, officers do not rely on the contents of a design and access statement to inform them of the site context. Any dispute over the description of the local context has no bearing on the consideration of this application.
 28. The original plans also included two commercial units. These issues have already been considered.
 29. The issue of on-street parking has been considered previously. Highways and Transportation officers have no objections with regard to this matter. Parking is not a matter that the Planning Committee considered to form grounds for refusal of the application.
 30. Highways officers have no objections on highway safety grounds. This has been considered previously.

31. The guidelines relate to applications that have already been refused. This application has not yet been refused therefore the Council has to consider amendments submitted by the applicant.
- 8.18 The issues raised by the petitioners have already been considered previously and are discussed above.
- 8.19 The petition of 230 signatures in favour of the development is noted. With regard to the individual representations in support of the application;
- a) it cannot be assumed that other investors would be deterred by the refusal of planning permission for this particular development, and the granting of planning permission would not necessarily lead to the immediate re-use of the site – when full planning permission is granted the developer has 5 years in which to commence development.
 - b) The support for the design of the building, its mixed use and the fact that jobs would be created in the retail units is noted.
 - c) The objections that have been received relate to this particular development and are not necessarily the result of anti-development and anti-change attitudes. The reasons for the closure of other shops in Rhiwbina are not known.
- 8.20 In conclusion, the provision of a building containing A1 retail shops and flats is appropriate in this location within the Rhiwbina Village Local Centre in accordance with LDP policy R5 and, although the proposed building is of a contemporary design that differs from the more traditional developments in the surrounding area and will be of a larger scale than the existing and adjoining buildings, on balance this is considered to be acceptable in the context of the site. The design of the building has been amended since the proposals were last considered by the Planning Committee and the amended design, which omits some of the more contemporary elements such as metal cladding and flat-roofed projections, is still considered appropriate to the area.
- 8.21 There will be no unacceptable impact on the amenities of neighbouring residents or users of the church gardens, the development will provide a reasonable standard of accommodation for future residents of the flats and changes that will be required to be made to parking restrictions and traffic calming infrastructure can be secured via a legal obligation. There would be no reasonable grounds for refusal of this application and it is recommended that permission is granted subject to a S106 obligation and conditions as set out above.
- 8.22 If the Committee considers that the amended plans do not overcome its objections and is minded to refuse the amended application, the following reasons for refusal are suggested to reflect the concerns expressed at the Planning Committee meeting of 14th August 2019:
- 1) The development by virtue of its height, massing and scale would be out of keeping with other buildings in the surrounding area and detrimental to the visual character of the area, contrary to policy KP5(i) of the Cardiff Local Development Plan.

- 2) The scale and massing of the development, together with its close proximity to the boundaries with neighbouring properties, would result in an unacceptable overbearing and obtrusive impact which would be detrimental to the amenities of neighbouring occupiers, contrary to policy KP5(x) of the Cardiff Local Development Plan.
- 3) The development would be detrimental to the setting of the Rhiwbina Garden Village Conservation Area in that it would appear as an incongruous feature out of keeping with the scale and character of existing commercial properties and dwellings in the vicinity of the site which form the setting of the conservation area, contrary to policy EN9 of the Cardiff Local Development Plan.

9. **OTHER CONSIDERATIONS**

9.1 *Crime and Disorder Act 1998*

Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

9.2 *Equality Act 2010*

The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic, over and above any other person.

9.3 *Environment (Wales) Act 2016*

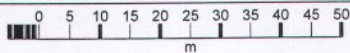
The Environment (Wales) Act 2016 imposes a duty on the Local Authority to seek to maintain and enhance biodiversity in the proper exercise of its functions and in doing so to promote the resilience of ecosystems. It is considered that the proposed development does not have any significant implications for, or effect on, biodiversity.

9.4 *Flood and Water Management Act 2010*

Section 12 (3) of the Flood and Water Management Act 2010 places a duty on risk management authorities (e.g. a county council for the area) to have regard to the national and local strategies and guidance when exercising any other function in a manner which may affect a flood risk or coastal erosion risk. The relevant strategies and guidance have been taken into consideration in the determination of this application.

9.3 *Well-being of Future Generations (Wales) Act 2015*

The Well-being of Future Generations (Wales) Act 2015 places a duty on the Welsh Ministers (and other public bodies) to produce well-being objectives and take reasonable steps to meet those objectives in the context of the principle of sustainable development. The duty to improve the economic, social, environmental and cultural well-being of Wales, in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015 (the WBFG Act), has been considered and account has been taken of the ways of working set out at section 5 of the WBFG Act in the determination of this application, and it is considered that this decision is in accordance with the sustainable development principle through its contribution towards one or more of the well-being objectives referred to in section 9 of the WBFG Act.



238 PANT BACH ROAD
CF14 6AX

OS MasterMap 1250/2500/10000 scale
21 November 2016, ID: BW1-00577931
www.blackwellmapping.co.uk
1:1250 scale print at A4, Centre: 316054 E, 181012 N
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**SITE LOCATION PLAN 1:1250
FOR PLANNING APPLICATION
PURPOSES ONLY**



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Pantbach Rd



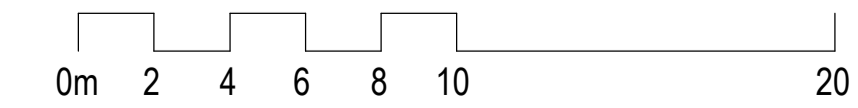
Pantbach Rd



Existing Site Plan
1 : 200

Proposed Site plan
1 : 200

— Site Boundary Line



Rev.	Amendment	By	Checked	Date

Issued Only For Purpose Indicated Date Approved

Drawing Status: FOR PLANNING PURPOSES ONLY

Cad File Name

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Job
Redevelopment of former Nat West Bank site
238 Pantbach Road, Rhiwbina, Cardiff

Drawn	Date	Checked	Date	Approved	Date
DB	23/04/19	DD			

Title
Existing and Proposed Site Plan

Scale
1 : 200

Job No.
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Client Drawing No. Rev.

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2275/PL/01

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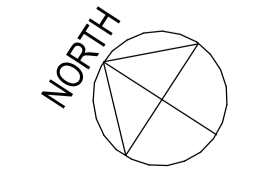
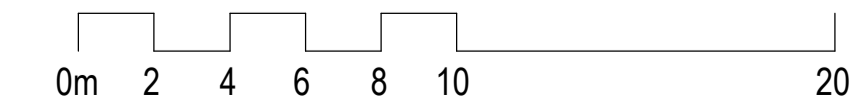
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Proposed Site plan
1 : 200



— Site Boundary Line



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 238 Pantbach Road, Rhiwbina, Cardiff

Drawn	Date	Checked	Date	Approved	Date
DB	01/09/19	DD			

Title
 Existing and Proposed Site Plan

Scale
1 : 200

Job No.
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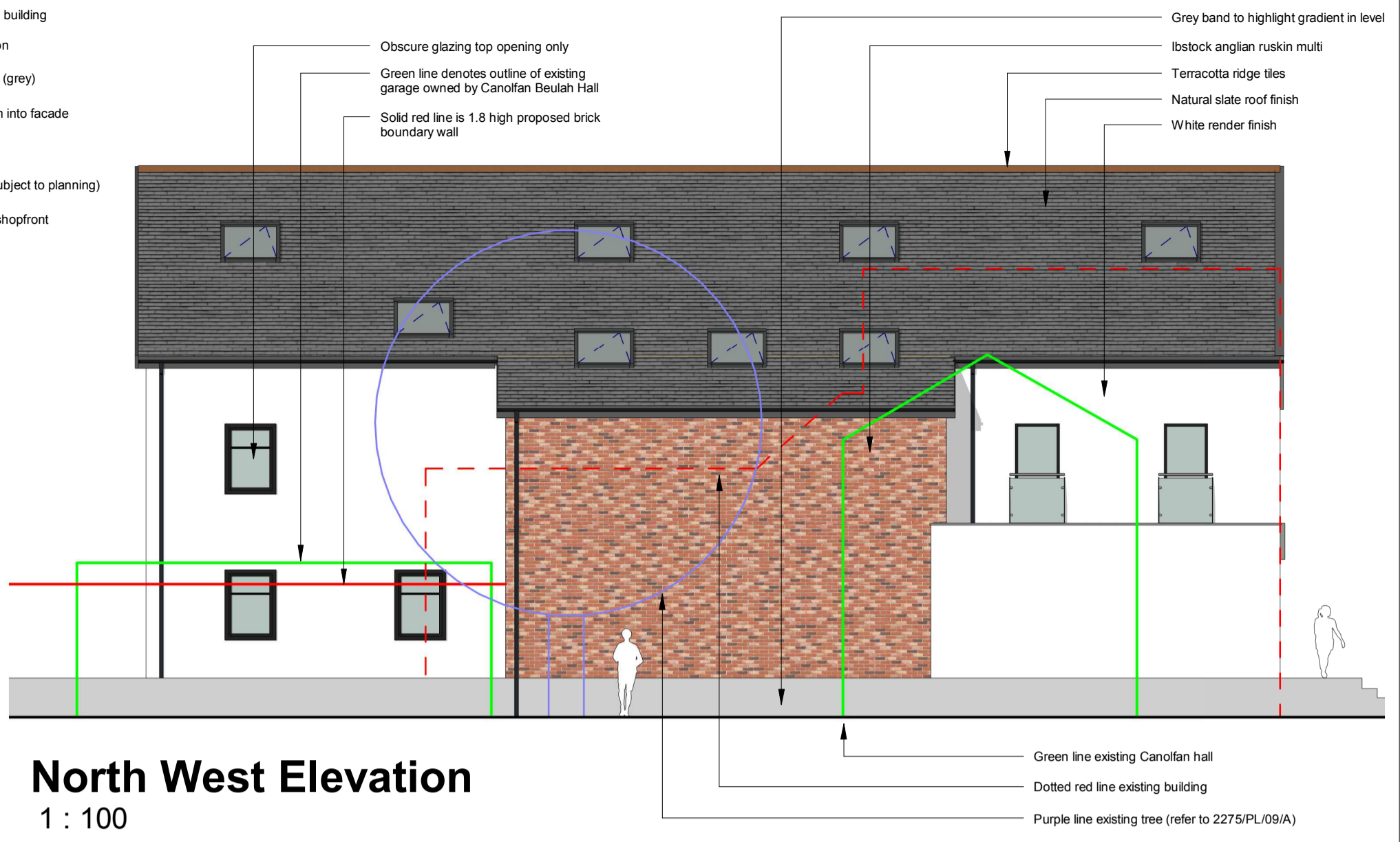
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Heol-Y-Bont Elevation
1 : 100



Pantbach Road Elevation
1 : 100



North West Elevation
1 : 100

NOTES

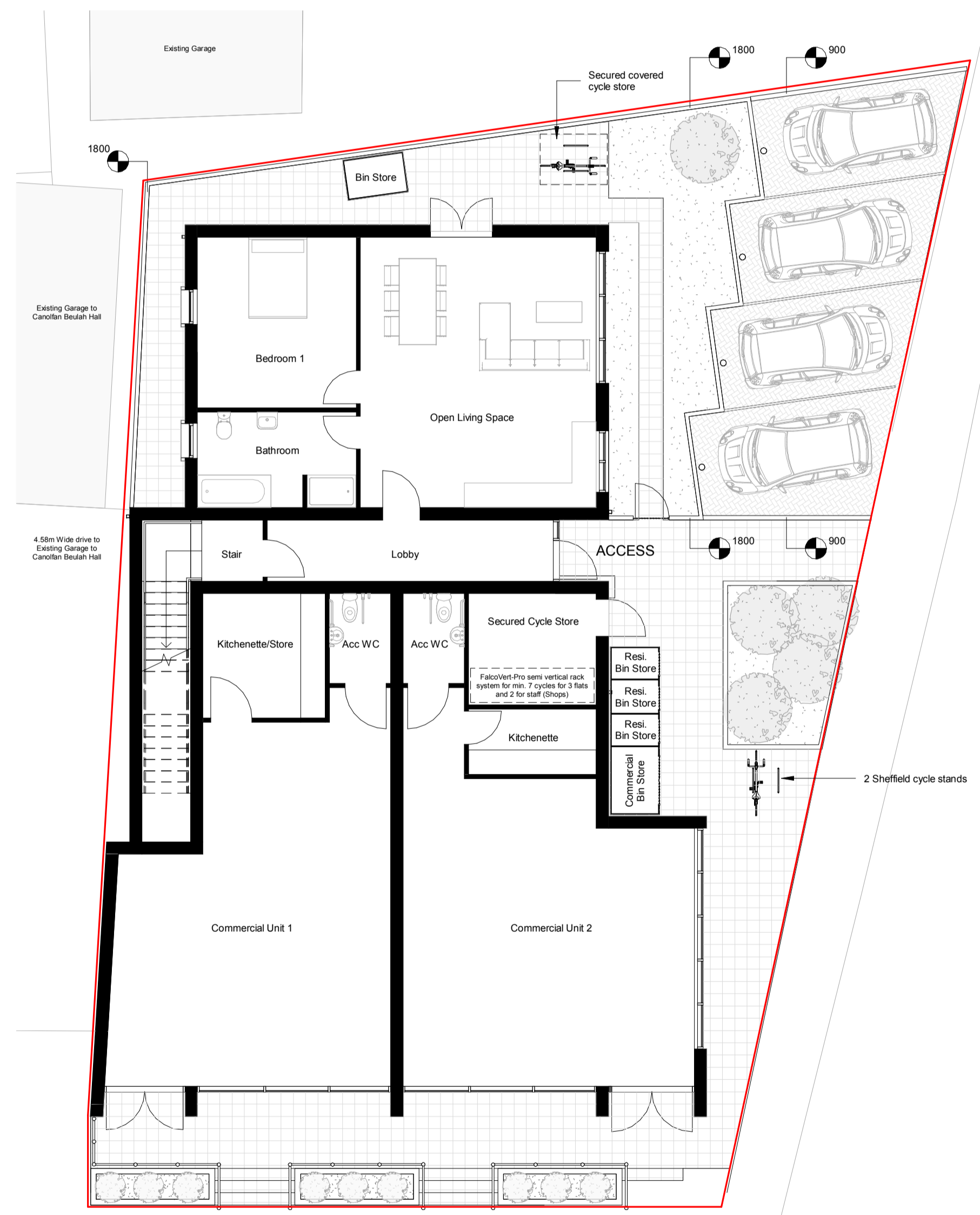
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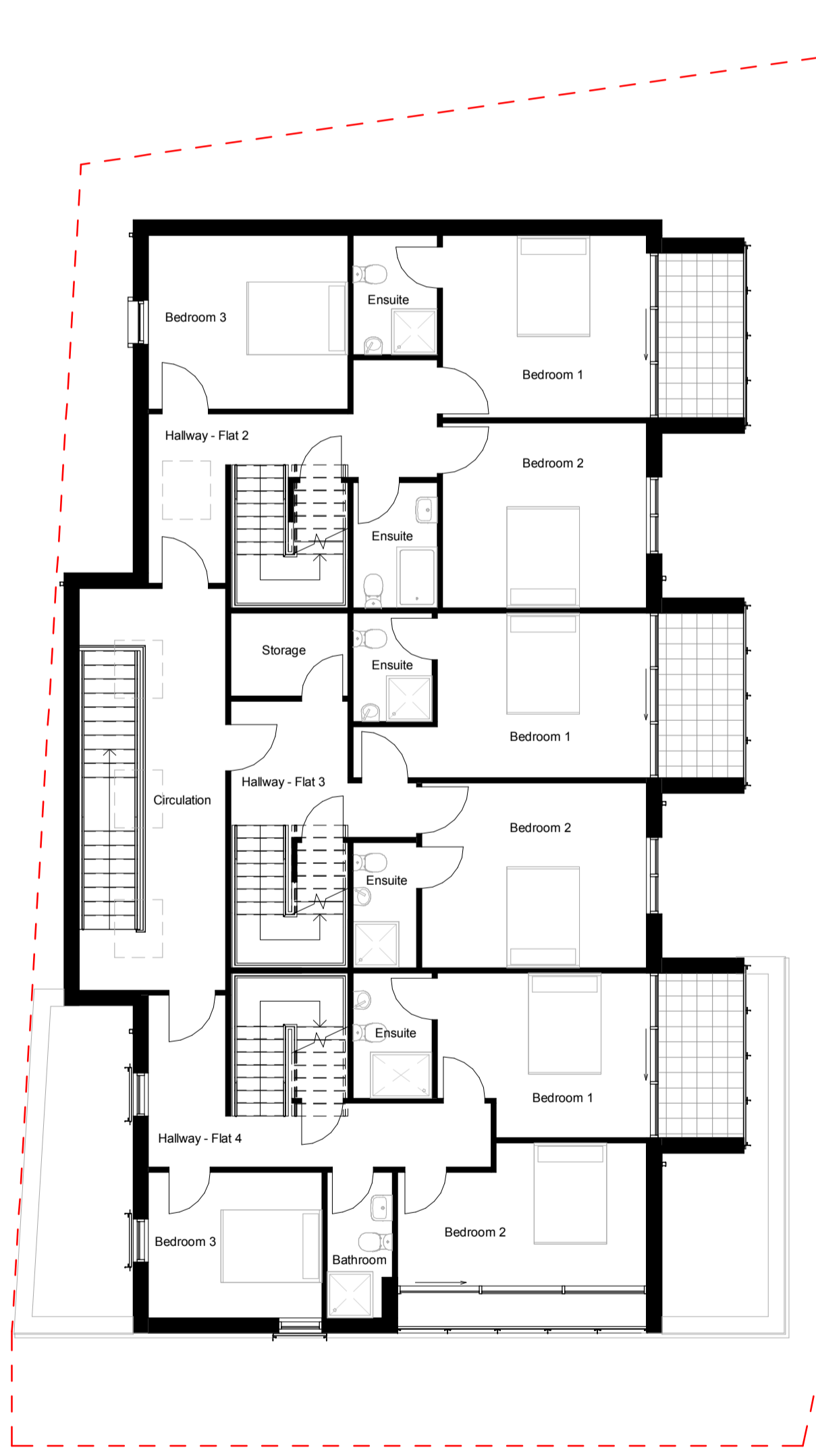
For rear elevation please refer to drawing 2275/PL/06/A

Please refer to drawing 2275/PL/09/A for existing tree on North West elevation



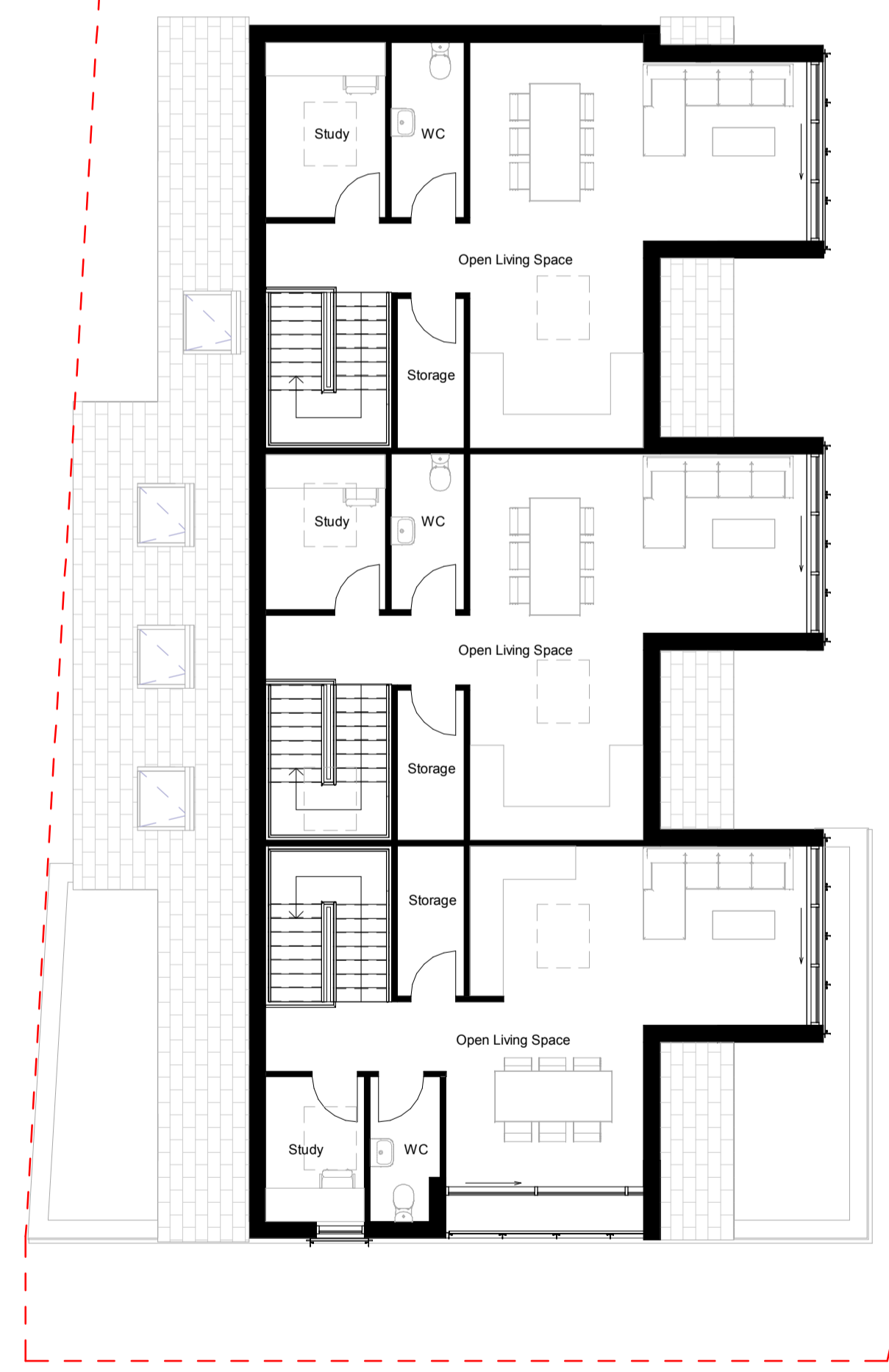
Ground Floor
1 : 100

Commercial Unit 1 - 69m² Tradeable Area - 55m²
 Commercial Unit 2 - 72m² Tradeable Area - 55m²
 Residential Unit Flat 1 - 63m²



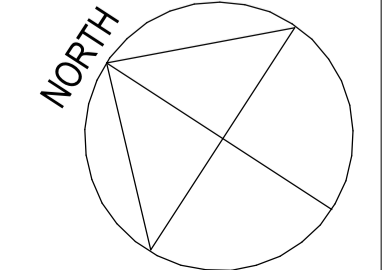
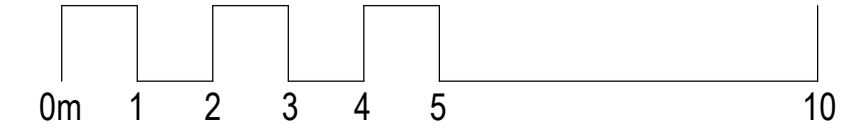
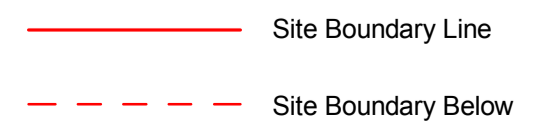
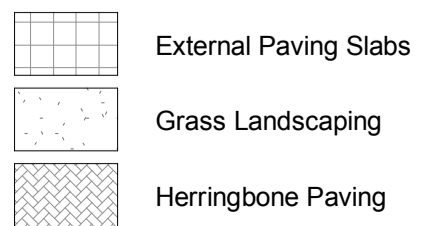
First Floor
1 : 100

Residential Unit Flat 2 Level 1 - 64m²
 Residential Unit Flat 3 Level 1 - 55m²
 Residential Unit Flat 4 Level 1 - 62m²



Second Floor
1 : 100

Residential Unit Flat 2 Level 2 - 47m²
 Residential Unit Flat 3 Level 2 - 45m²
 Residential Unit Flat 4 Level 2 - 45m²



Rev.	Amendment	By	Checked	Date
A	Front elevation revised as requested by planning officer email 05/06/2019	DB	DD	13/06/19

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Cad File Name

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 116 Ty Glas Road, Llanishen, Cardiff CF14 5EG

Job:
Redevelopment of former Nat West Bank site
 238 Pantbach Road, Rhiwbina, Cardiff

Drawn	Date	Checked	Date	Approved	Date
DB	23/04/2019	DD			

Title:
Proposed Floor Plans and Elevations

Scale:
1 : 100

Job No.
 -

Client Drawing No.
 -

Rev.
 A

Drawing No.
2275/PL/02

NOTES

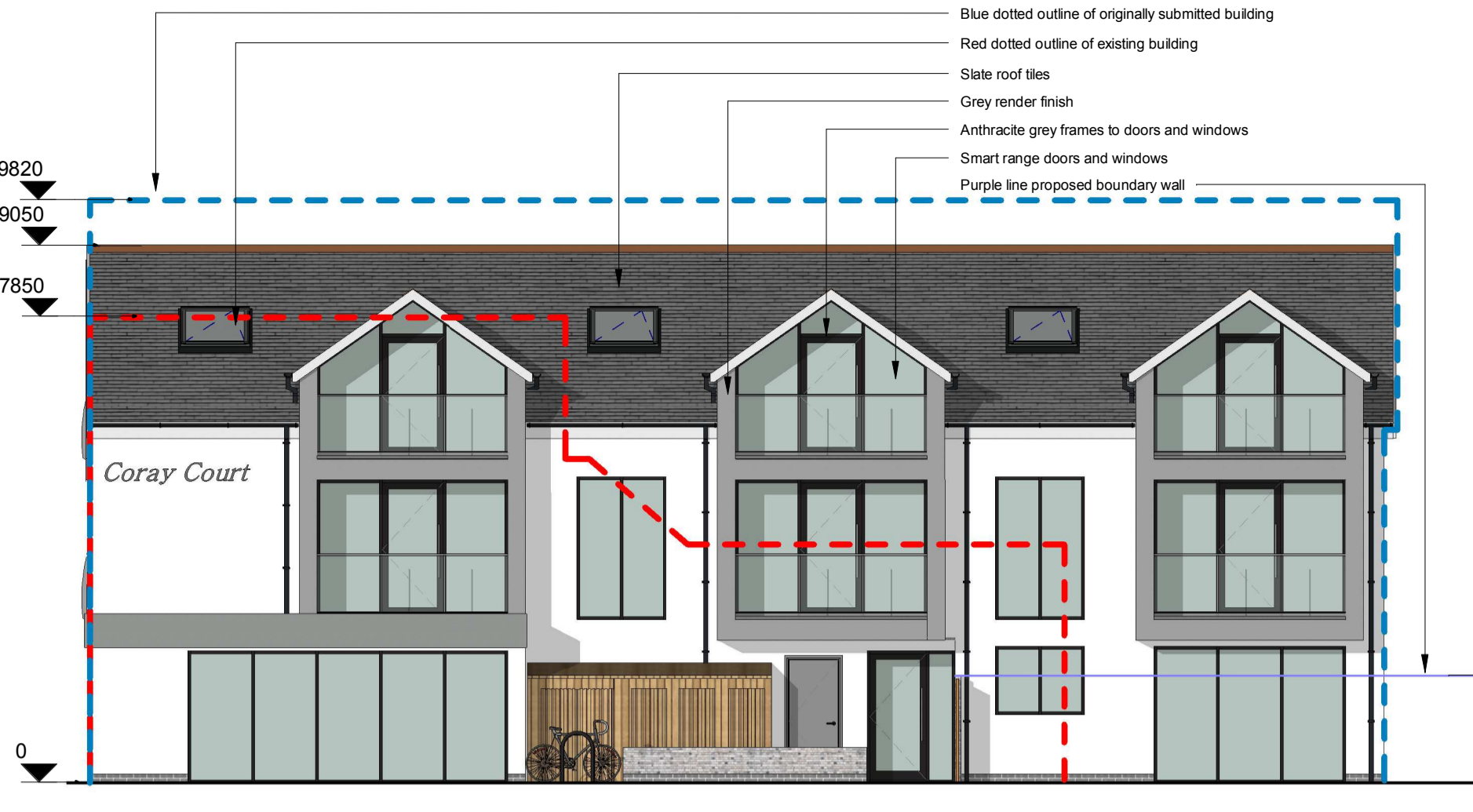
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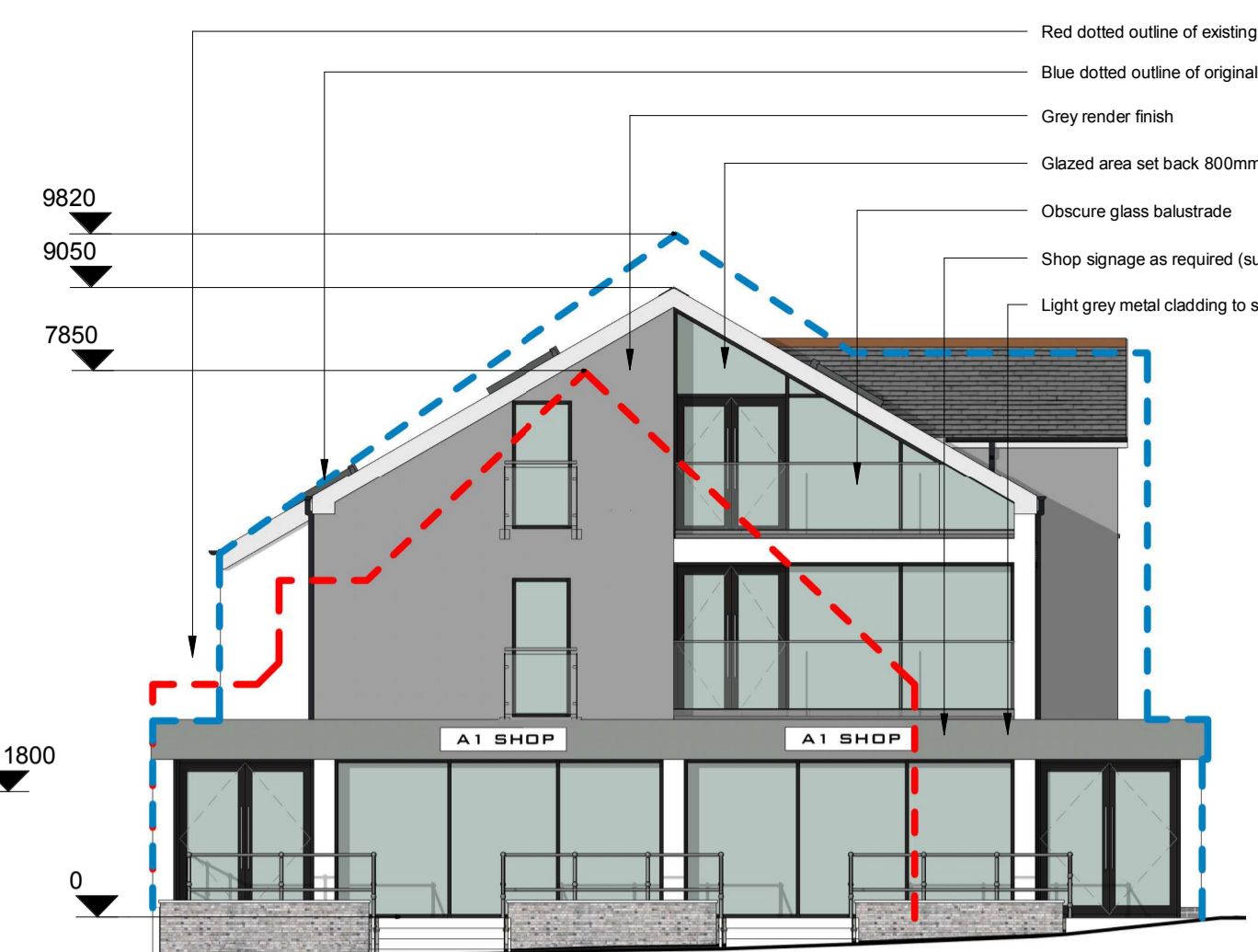
DO NOT SCALE

For rear elevation please refer to drawing 2275/PL/06/A

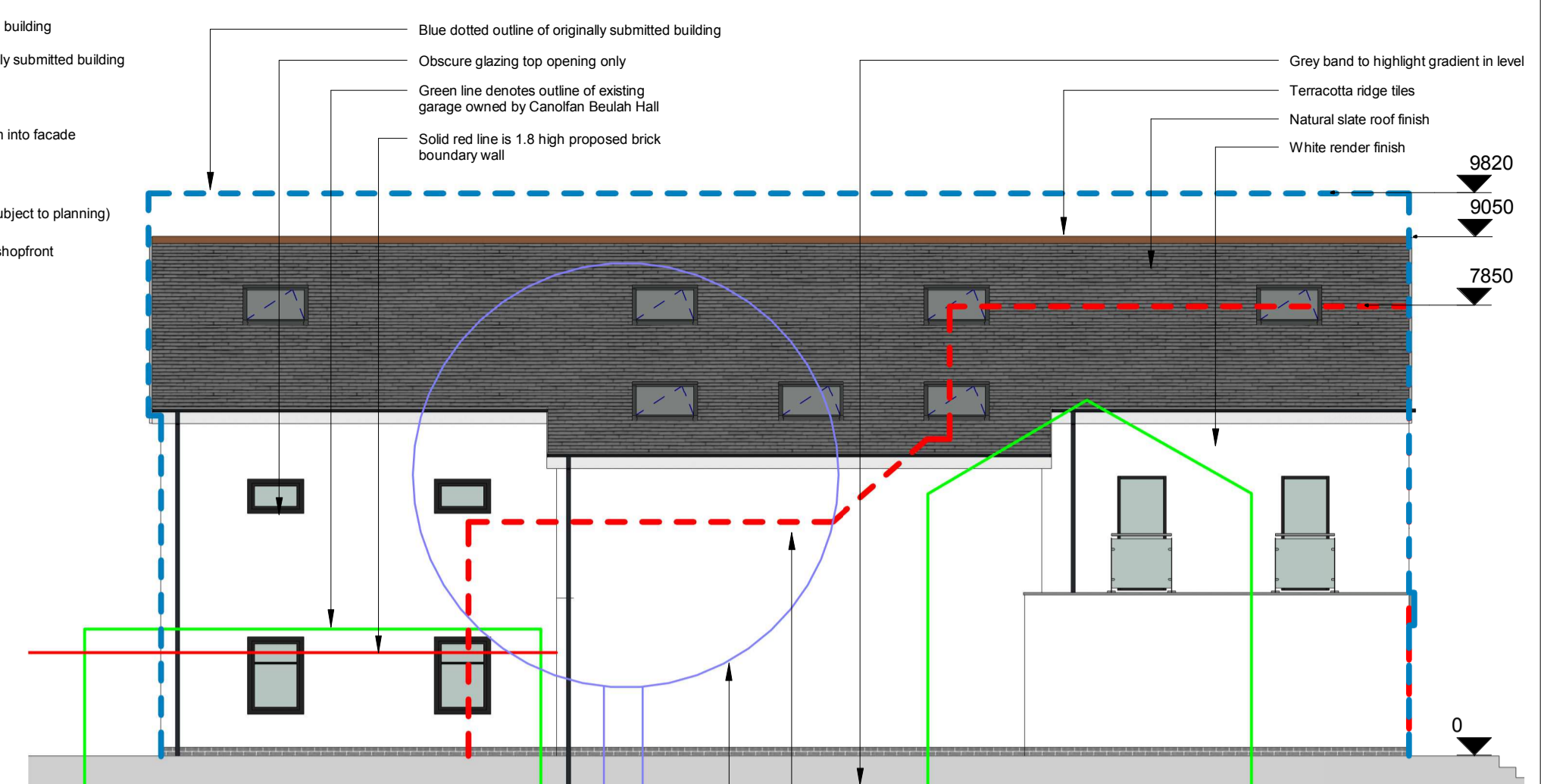
Please refer to drawing 2275/PL/09/A for existing tree on North West elevation



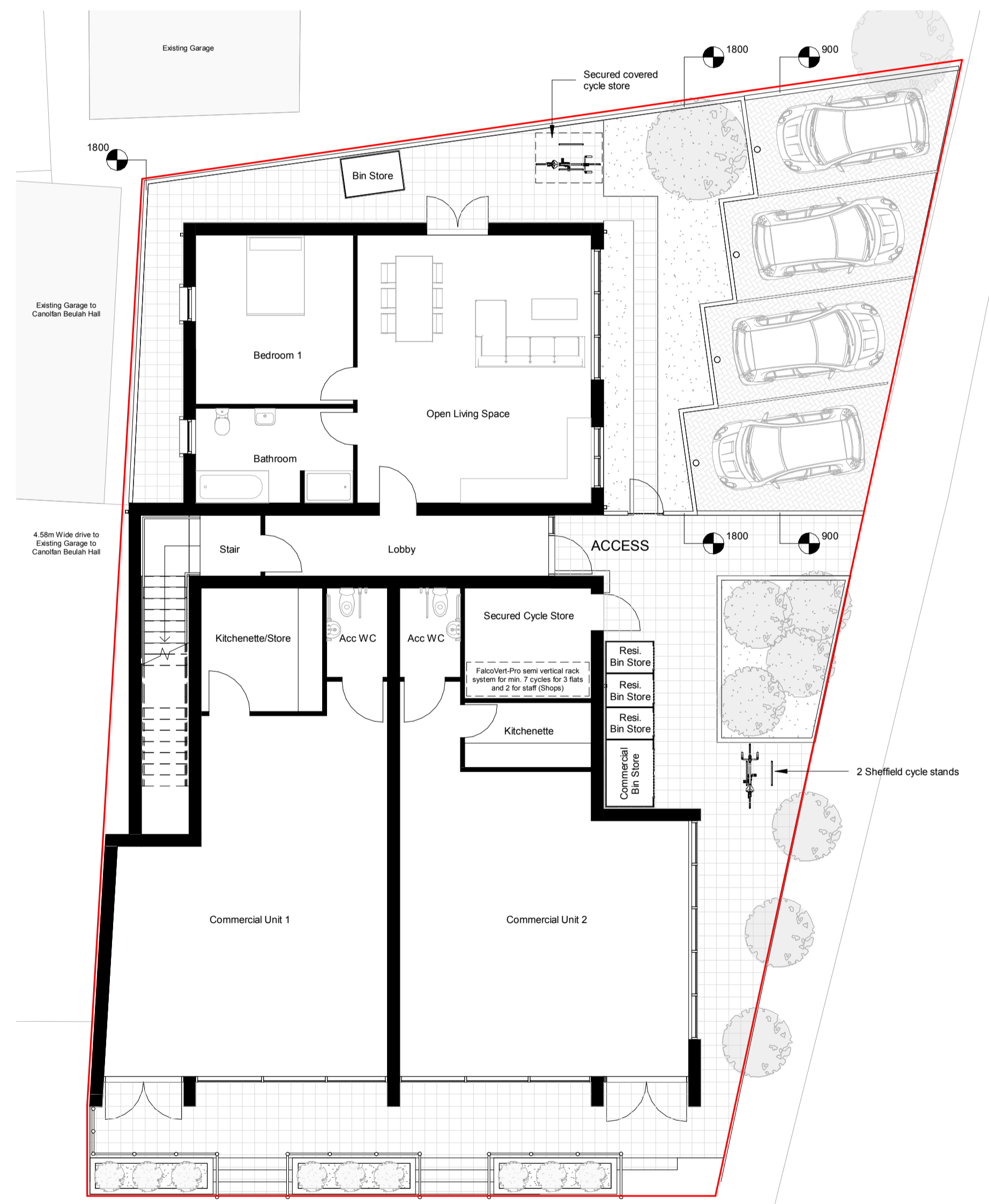
Heol-Y-Bont Elevation
1 : 100



Pantbach Road Elevation
1 : 100

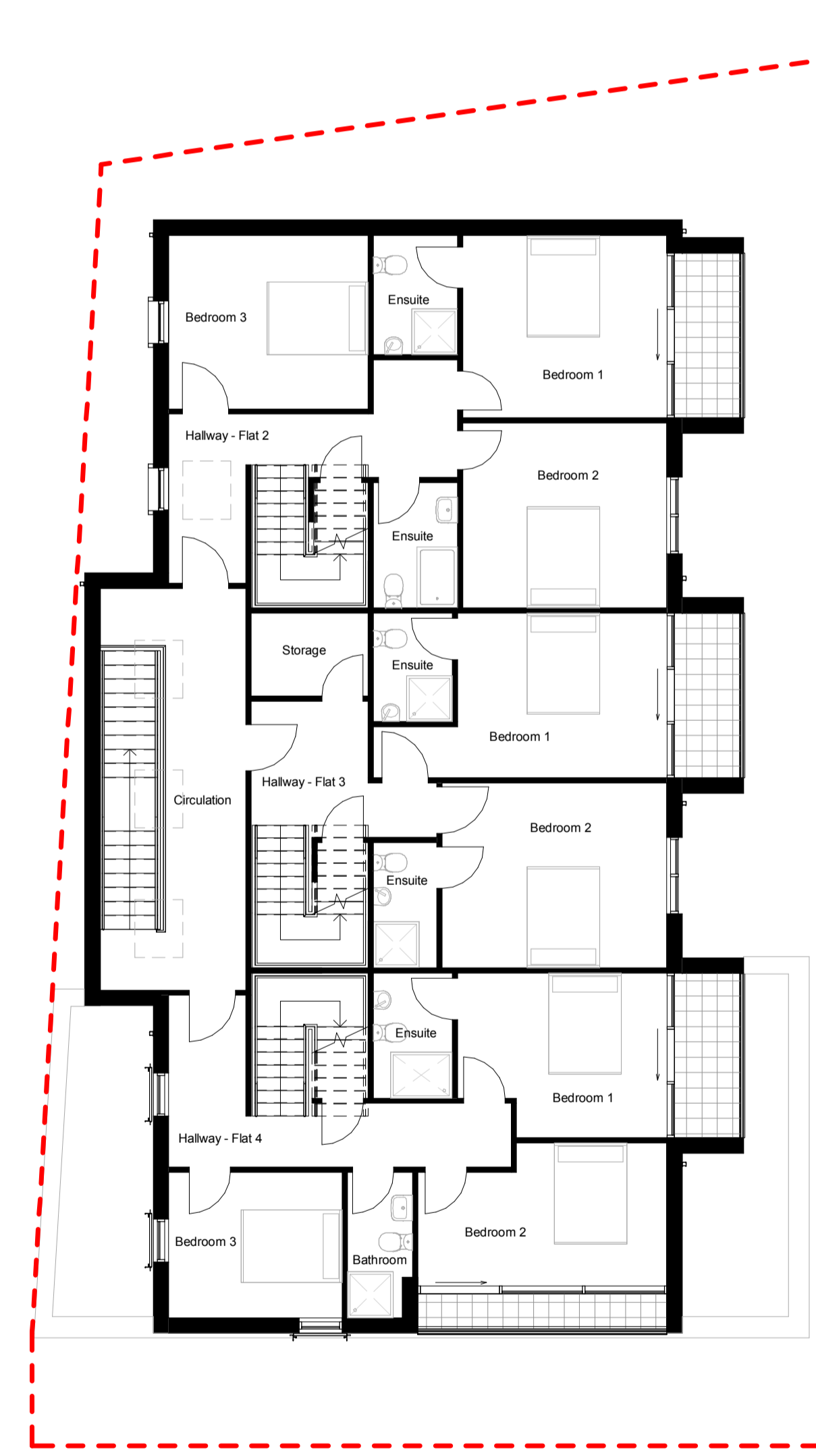


North West Elevation
1 : 100



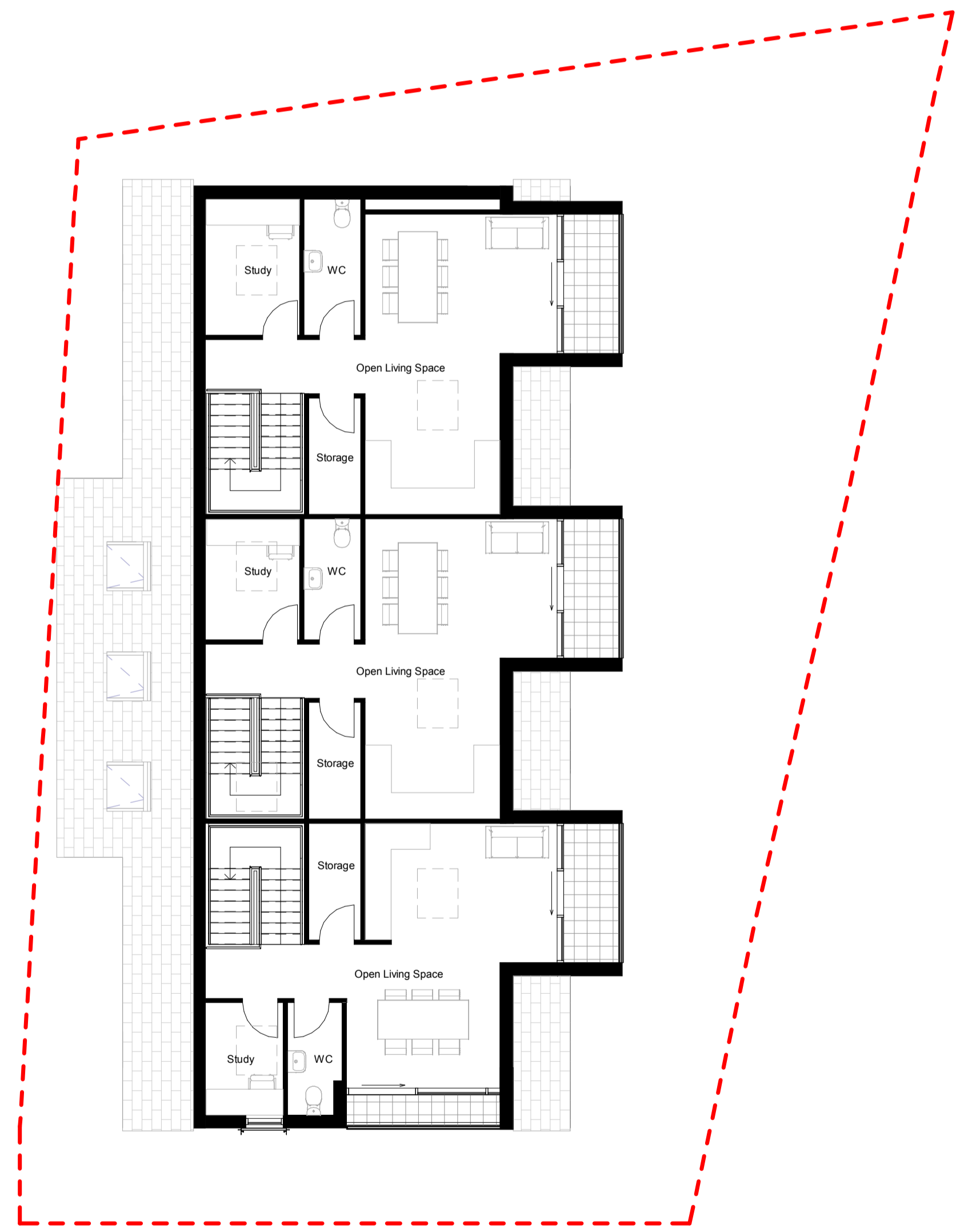
Ground Floor
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Commercial Unit 1 - 69m² Tradeable Area - 55m²
 Commercial Unit 2 - 72m² Tradeable Area - 55m²
 Residential Unit Flat 1 - 63m²



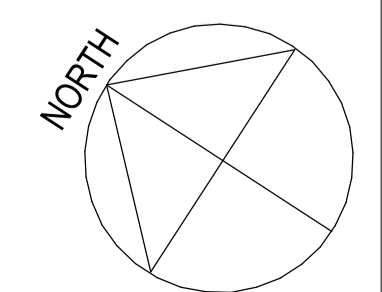
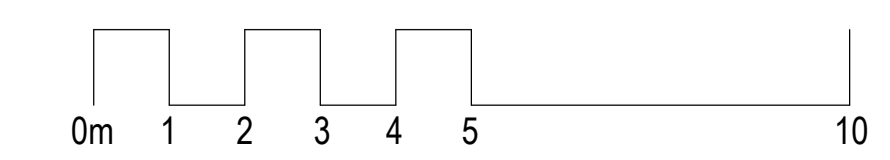
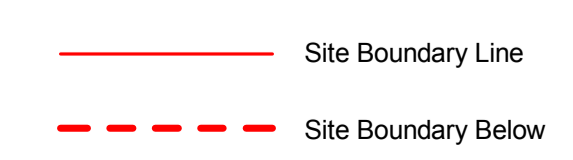
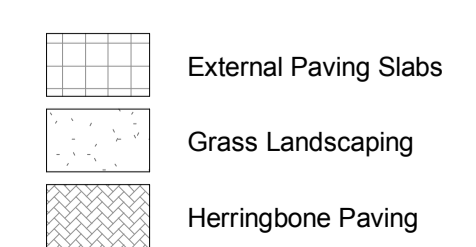
First Floor
1 : 100

Residential Unit Flat 2 Level 1 - 64m²
 Residential Unit Flat 3 Level 1 - 55m²
 Residential Unit Flat 4 Level 1 - 62m²



Second Floor
1 : 100

Residential Unit Flat 2 Level 2 - 47m²
 Residential Unit Flat 3 Level 2 - 45m²
 Residential Unit Flat 4 Level 2 - 45m²



Rev.	Amendment	By	Checked	Date
A	Front elevation revised as requested by planning officer email 05/06/2019	DB	DD	13/06/19
B	Roof ridge lowered, pitch of roof reduced, balconies projection reduced, flat roof to balconies changed to pitched, metal cladding removed.	DB	DD	01/09/19

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Job:
Redevelopment of former Nat West Bank site
 238 Pantbach Road, Rhiwbina, Cardiff

Drawn	Date	Checked	Date	Approved	Date
DB	01/09/19	DD			

Title:
Proposed Floor Plans and Elevations

Client Drawing No.	Rev.
2275/PL/02	B

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Job.

Redevelopment of former Nat West Bank site
238 Pantbach Road, Rhiwbina, Cardiff

Drawn	Date	Checked	Approved	Date
DB	23/04/19	DD		

Title
**Proposed Building Rear
Elevation**

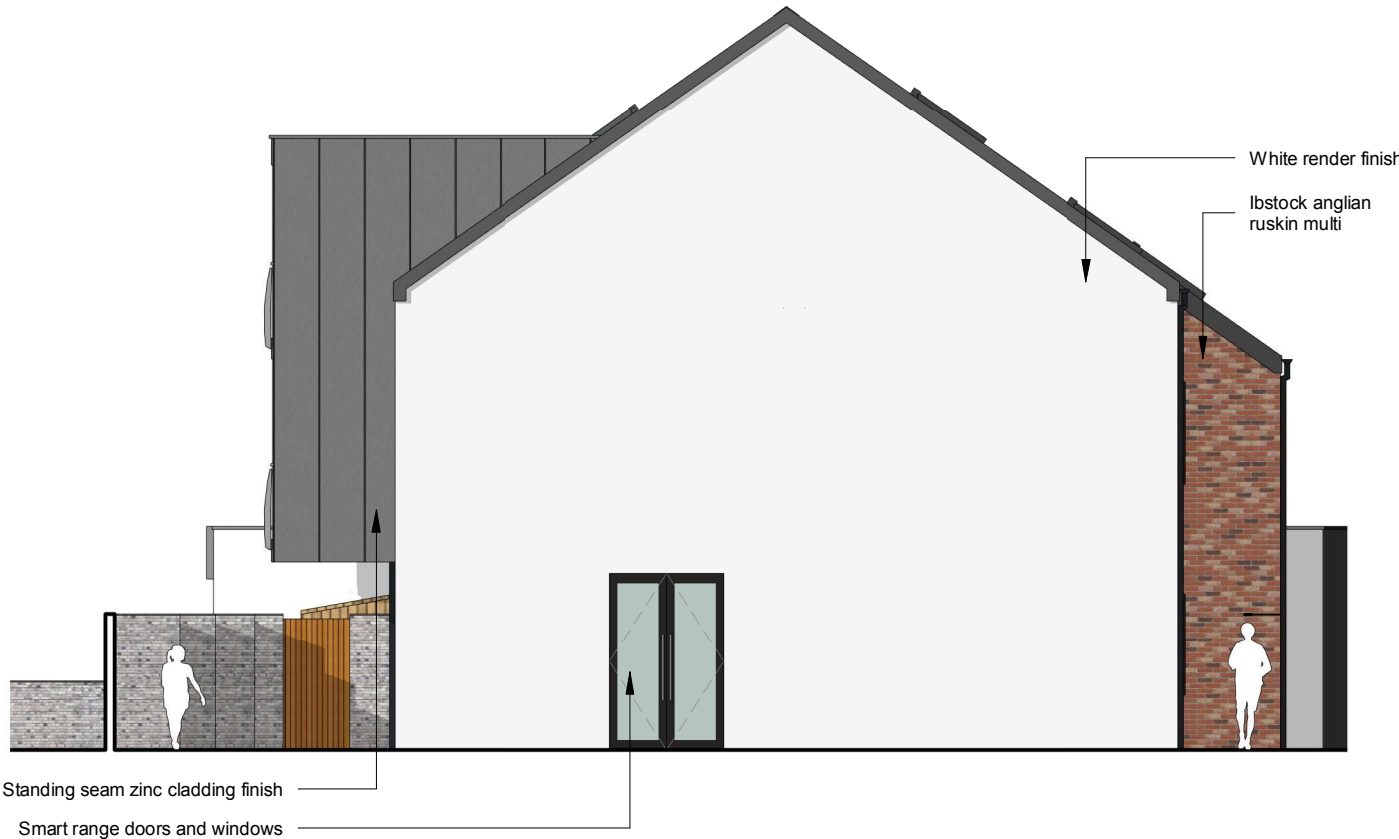
Scale
1 : 100

Job No.

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Client Drawing No.

Drawing No.
2275/PL/06



North East Elevation

1 : 100

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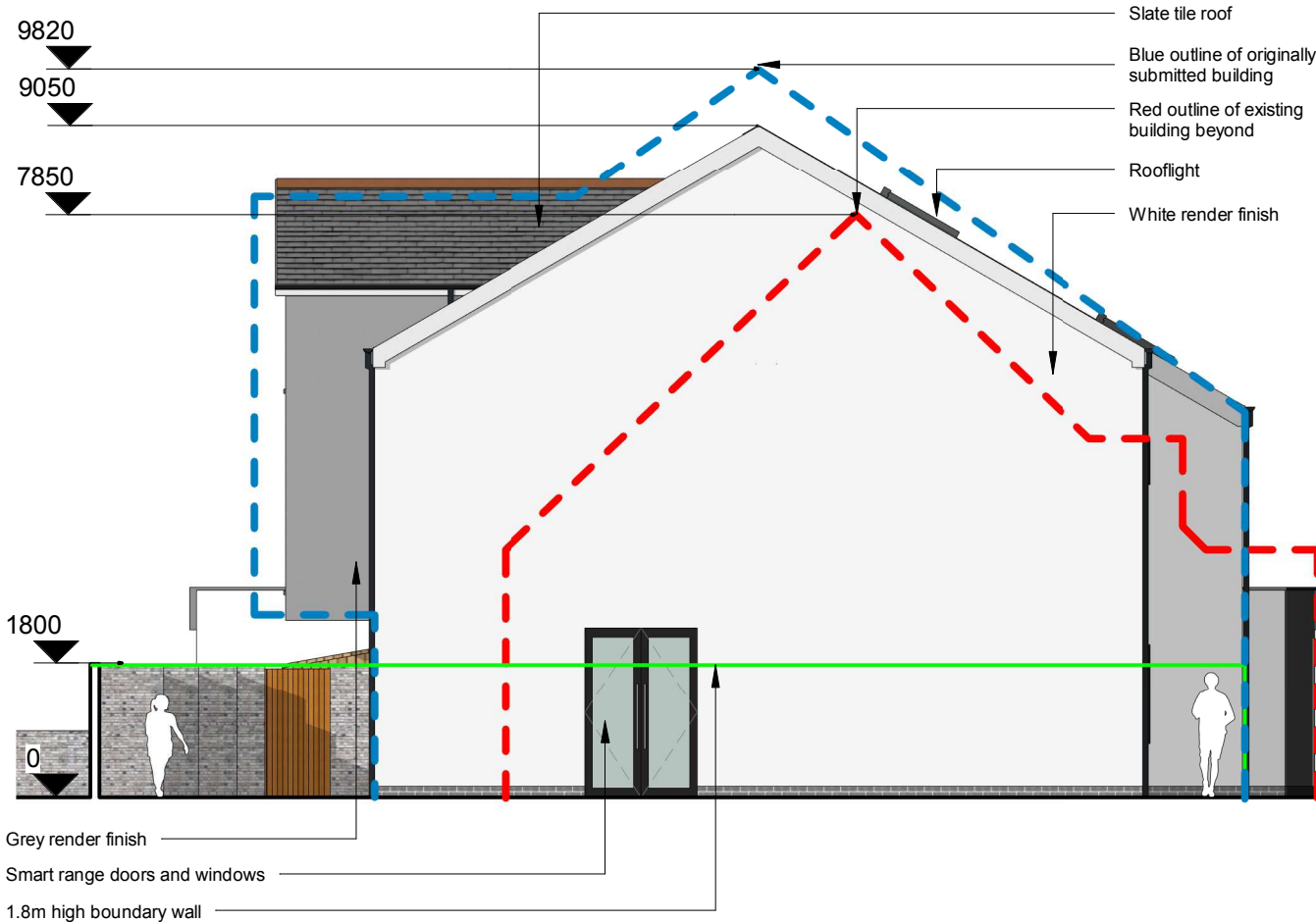
Job.

Redevelopment of former Nat West Bank site
 238 Pantbach Road, Rhiwbina, Cardiff

Rev.	Amendment	By	Chkd	Date
A	Outline of previously submitted building and existing building added	DB	DD	01/09/19

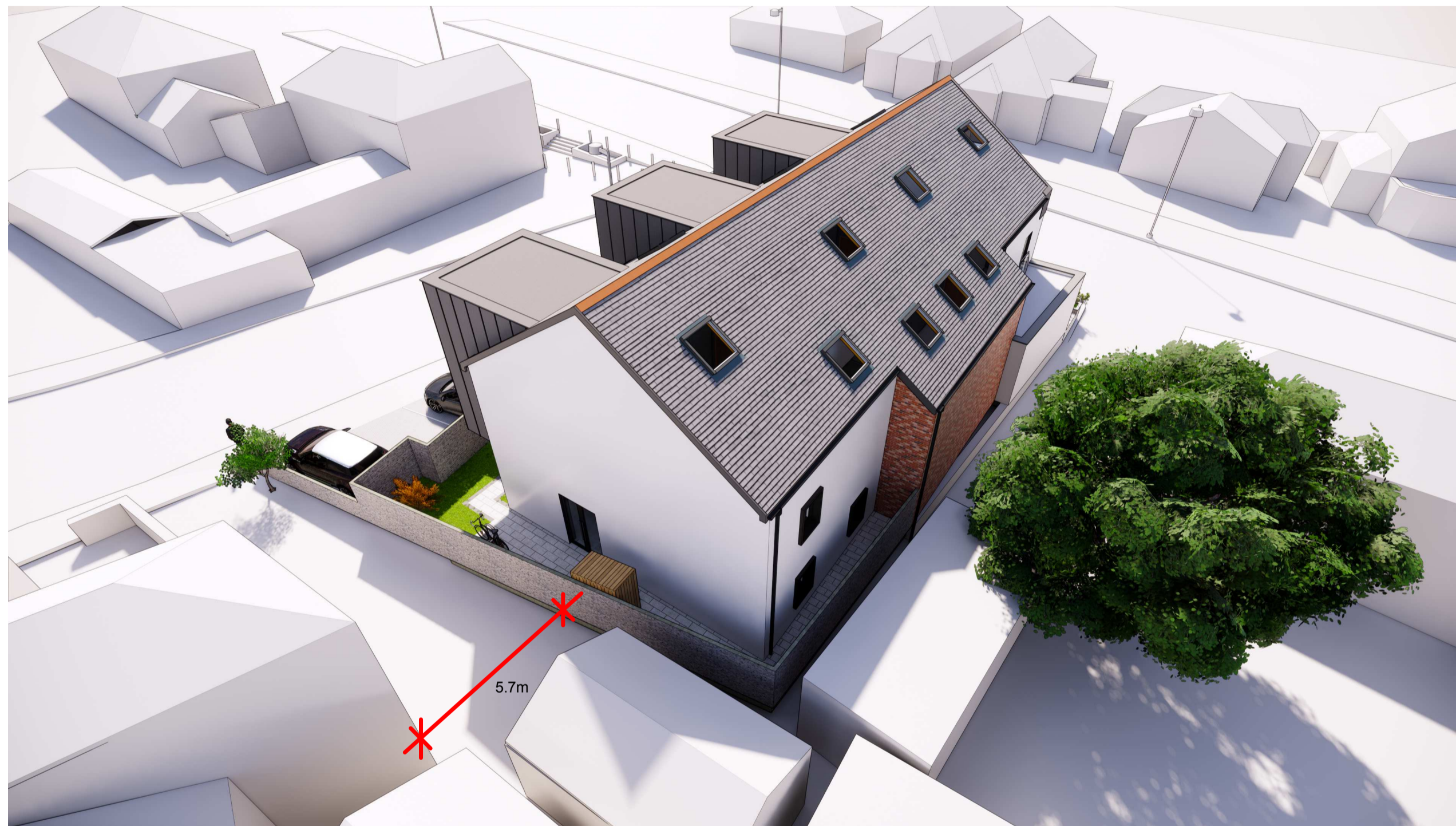
Drawn	Date	Checked	Approved	Date
DB	01/09/19	DD		

Title Proposed Building Rear Elevation	Scale 1 : 100
	Job No. -
	Client Drawing No.
	Drawing No. 2275/PL/06
	Rev. A



North East Elevation

1 : 100



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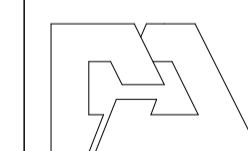
The existing mature tree in the garden of Canolfan Beulah Garden was cut down on 13 June 2016 for reasons unknown, presumably under instructions from the owners of Canolfan Beulah Hall.

Rev.	Amendment	By	Checked	Date
A	Front elevation revised as requested by planning officer email 05/06/2019	DB	DD	13/06/19
B	External vegetation enhanced	DB	DD	28/06/19

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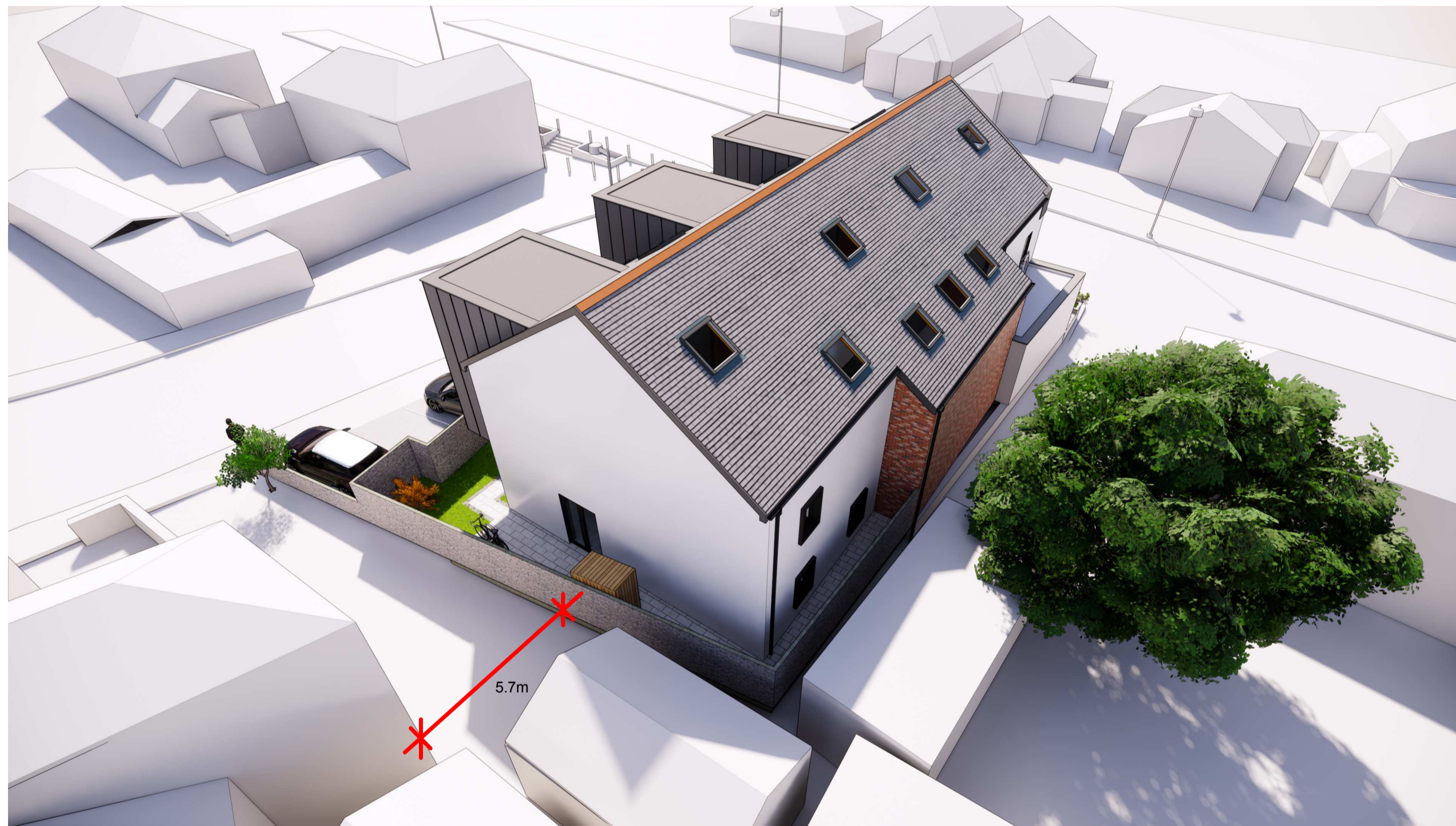
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Job:
Redevelopment of former Nat West Bank site
238 Pantbach Road, Rhiwbina, Cardiff

Drawn	Date	Checked	Date	Approved	Date
DB	23/04/19	DD			

Title		Scale
Natwest Proposed New Build Renders		
Job No.		
Client Drawing No.		
Rev.		
Drawing No.	2275/PLU/03	
	B	



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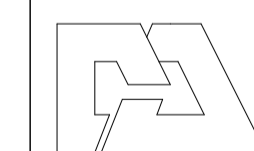
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A	Front elevation revised as requested by planning officer email 05/06/2019	DB	DD	13/06/19
B	External vegetation enhanced	DB	DD	28/06/19

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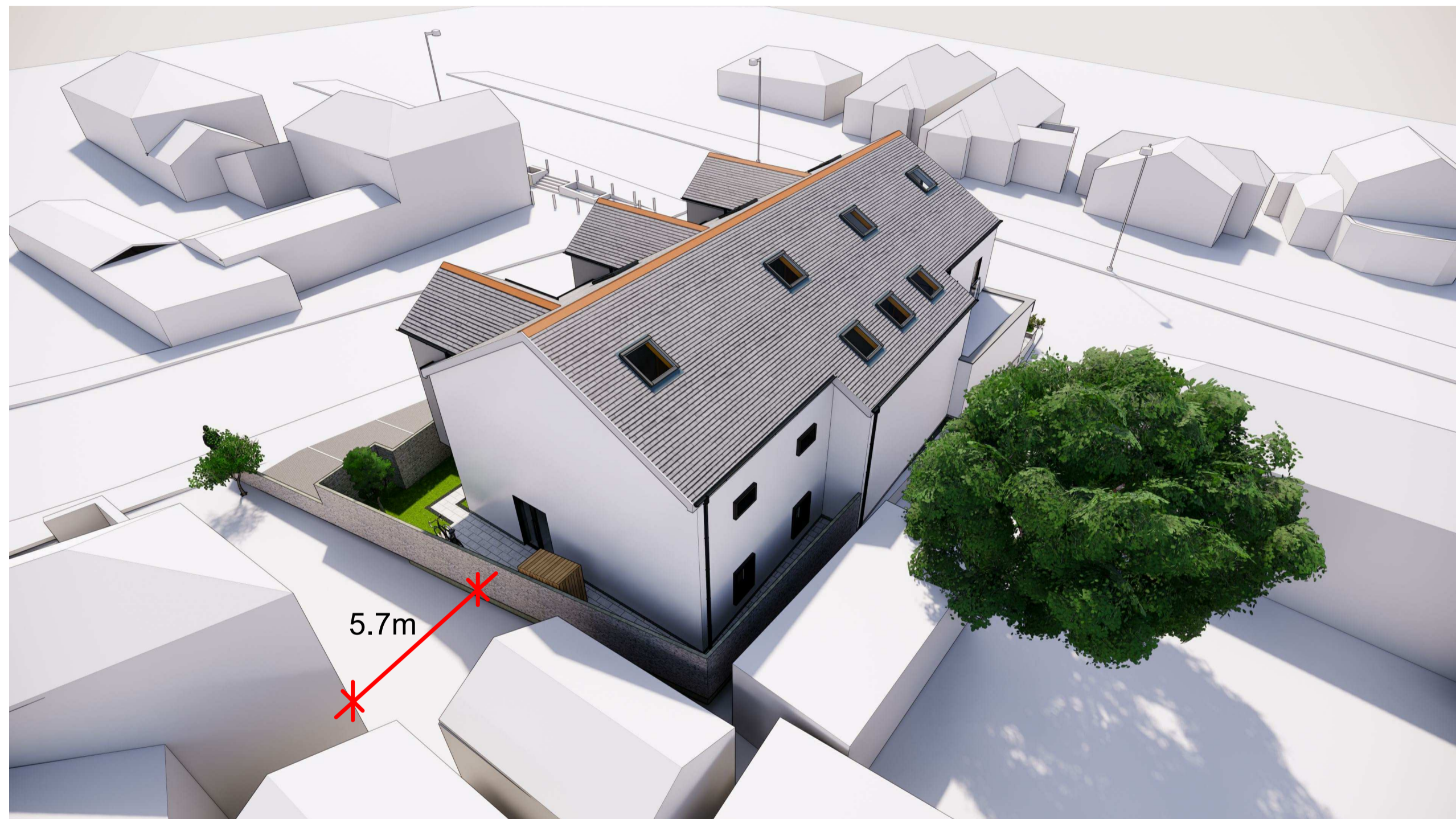
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Job:
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Drawn	Date	Checked	Date	Approved	Date
DB	23/04/19	DD			

Title		Scale
Natwest Proposed New Build Renders		
Job No.		
Client Drawing No.		
Drawing No.		
2275/PLU/03	Rev.	B



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The existing mature tree in the garden of Canolfan Beulah Garden was cut down on 13 June 2016 for reasons unknown, presumably under instructions from the owners of Canolfan Beulah Hall.

Rev.	Amendment	By	Checked	Date
A	Front elevation revised as requested by planning officer email 05/06/2019	DB	DD	13/06/19
B	External landscaping enhanced	DB	DD	28/06/19
C	Roof ridge lowered, pitch of roof reduced, balconies projection reduced, flat roof to balconies changed to pitched, metal cladding removed.	DB	DD	01/09/19

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Job
Redevelopment of former Nat West Bank site
 238 Pantbach Road, Rhiwbina, Cardiff

Drawn	Date	Checked	Date	Approved	Date
DB	01/09/19	DD			

Title Natwest Proposed New Build Renders		Scale Not to Scale
Job No. -		Client Drawing No.
Drawing No. 2275/PL/03		Rev. C



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05/08/2019

PLANNING APPLICATION REF: 19/01339/MNR - 238 PANTBACH ROAD, RHIWBINA, CARDIFF, CF14 6AX

VIEW B - THE PROPOSED BUILDING IN CONTEXT OF EXISTING STREET SCENE - AS RECOMMENDED FOR APPROVAL BY CARDIFF CITY PLANNING DEPARTMENT

[The Planning Officer's Full Report to Planning Committee dated 17/07/2019 Refers and Available at <https://planningonline.cardiff.gov.uk/online-applications/simpleSearchResults.do?action=firstPage>]



PROPOSED SUPERIMPOSED VIEW 1
AS RECOMMENDED FOR APPROVAL BY CARDIFF CITY PLANNING DEPARTMENT
(Planning Application Ref: 19/01339/MNR)

[PROPOSED REDEVELOPMENT OF FORMER NAT WEST BANK SITE 238 PANTBACH ROAD, RHIWBINA]



PLANNING APPLICATION REF: 19/01339/MNR - 238 PANTBACH ROAD, RHIWBINA, CARDIFF, CF14 6AX

VIEW A - THE PROPOSED BUILDING IN CONTEXT OF EXISTING STREET SCENE - AS RECOMMENDED FOR APPROVAL BY CARDIFF CITY PLANNING DEPARTMENT

[The Planning Officer's Full Report to Planning Committee dated 17/07/2019 Refers and Available at <https://planningonline.cardiff.gov.uk/online-applications/simpleSearchResults.do?action=firstPage>]



PROPOSED SUPERIMPOSED VIEW 2
AS RECOMMENDED FOR APPROVAL BY CARDIFF CITY PLANNING DEPARTMENT
(Planning Application Ref: 19/01339/MNR)

[PROPOSED REDEVELOPMENT OF FORMER NAT WEST BANK SITE 238 PANTBACH ROAD, RHIWBINA]



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05/08/2019

PLANNING APPLICATION REF: 19/01339/MNR - 238 PANTBACH ROAD, RHIWBINA, CARDIFF, CF14 6AX

VIEW D - THE PROPOSED BUILDING IN CONTEXT OF EXISTING STREET SCENE - AS RECOMMENDED FOR APPROVAL BY CARDIFF CITY PLANNING DEPARTMENT

[The Planning Officer's Full Report to Planning Committee dated 17/07/2019 Refers and Available at <https://planningonline.cardiff.gov.uk/online-applications/simpleSearchResults.do?action=firstPage>]



PROPOSED SUPERIMPOSED VIEW 3
AS RECOMMENDED FOR APPROVAL BY CARDIFF CITY PLANNING DEPARTMENT
(Planning Application Ref: 19/01339/MNR)

[PROPOSED REDEVELOPMENT OF FORMER NAT WEST BANK SITE 238 PANTBACH ROAD, RHIWBINA]

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COMMITTEE DATE: 16/10/2019

APPLICATION No. **19/02214/MNR**

APPLICATION DATE: 20/08/2019

ED: **CATHAYS**

APP: TYPE: Full Planning Permission

APPLICANT: Mr Munir

LOCATION: 82 Cathays Terrace, Cathays, Cardiff

PROPOSAL: GROUND FLOOR REAR EXTENSION, REAR DORMER AND
CONVERSION FROM C4 TO SUI GENERIS HOUSE IN
MULTIPLE OCCUPATION.

RECOMMENDATION: That planning permission be **GRANTED**, subject to the following conditions:

1. C01 – Statutory Time limit
2. The development shall be retained in accordance with the following approved plans:
 - CEY3/3 – Ground Floor Proposed
 - CEY3/4 – First Floor Proposed
 - CEY3/5 – Second Floor Proposed
 - CEY3/6 – Site Layout Proposed
 - CEY3/7 – Front, Rear & Side Elevations Proposed

Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.

3. Prior to the beneficial use of the property as a 7 person HMO, seven undercover and secured cycle parking spaces, as indicated on the approved site layout plan, shall be provided within the curtilage of the property and shall thereafter be retained and maintained at all times.
Reason: To ensure that secure cycle parking facilities are provided to encourage other modes of transport over the private car.
4. Prior to the beneficial use of the property as a 7 person HMO, a refuse storage area as indicated on the approved site layout plan shall be provided within the curtilage of the property. The refuse storage area shall thereafter be retained and maintained at all times.
Reason: To secure an orderly form of development and to protect the amenities of the area in accordance with Policy W2 of the Cardiff Local Development Plan 2006-2026.
5. No more than 7 occupants shall reside at the property at any one time.

Reason: To ensure a suitable level of internal and external amenity space is retained for future occupiers to use in accordance with Policy KP5 of the Cardiff Local Development Plan 2006 – 2026.

6. The flat roof of the extension hereby approved shall not be used as a roof terrace, sitting out area or for any form of amenity space whatsoever.

Reason: To ensure that the privacy and amenities of the occupier of the adjoining properties are protected in accordance with Policy KP5 of the Cardiff Local Development Plan 2006-2026.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 This application seeks planning permission to erect a ground floor rear extension and rear dormer to facilitate the change of use of the property from a 4 bedroom C4 House of Multiple Occupation (HMO) into a 7 bedroom sui generis House of Multiple Occupation.
- 1.2 Internally the property is to accommodate a combined kitchen/living room, two bedrooms and a shower room on the ground floor. Three bedrooms and a shower room on the first floor and two bedrooms and a shower room on the second floor (within the roof-space).
- 1.3 The submitted plans show the rear single storey extension is to be 7.3m long, 4.2m wide and 2.7m high with a flat roof (note that the proposed extension is narrower and shorter in height than the existing rear annexe but is longer overall). The rear dormer is to be 5.3m wide, 3.2m deep and 2.1m high with a flat roof.
- 1.4 Externally a rear amenity space of approximately 48.45 square metres is provided, which contains a 7 space cycle store and a refuse storage area.

2. **DESCRIPTION OF SITE**

- 2.1 The site comprises a two storey building located within a terrace of two-storey properties within the Cathays Ward of Cardiff.

3. **SITE HISTORY**

None

4. **POLICIES OF PARTICULAR RELEVANCE**

National Planning Policy

- *Planning Policy Wales (10th Ed) 2018*
- *Technical Advice Note 12: Design*
- *Technical Advice Note 21: Waste*
- *Development Management Manual*

Cardiff Local Development Plan 2006-2026 (2016)

- *Policy KP5: Good Quality and Sustainable Design*
- *Policy KP8: Sustainable Transport*
- *Policy T5: Managing Transport Impacts*
- *Policy KP13: Responding to Evidenced Social Need*
- *Policy C3: Community Safety/Creating Safe Environments*
- *Policy H5: Sub-Division or Conversion of Residential Properties*
- *Policy EN13: Air, Noise, Light Pollution and Land Contamination*
- *Policy W2: Provision for Waste Management Facilities in Development*

Supplementary Planning Guidance (SPG)

- *Managing Transportation Impacts (Incorporating Parking Standards) (2018)*
- *Residential Alterations and Extensions (2016)*
- *Houses in Multiple Occupation (HMO's) (2016)*
- *Waste Collection and Storage Facilities (2016)*

5. INTERNAL CONSULTEE RESPONSES

- 5.1 **The Operational Manager (Transportation)** – No objections, states that the application, offers no off-street car parking, whilst offering 7 secure & covered cycle parking spaces. The on-street parking outside the property is controlled by resident permit parking bays.

The cycle parking appears to provide adequate accessibility and space for the cycles. There is no rear access to the property. It is noted that the only access to the cycle parking is through the living room/kitchen, which although not ideal, is acceptable in a retro-fit property with no alternative.

- 5.2 **The Operational Manager, Waste Management** – The proposed storage area for waste and recycling in the rear amenity area has been noted and is acceptable.

This property will require the following for recycling and waste collections:

- Bespoke bags equivalent to 240 litres for general waste
- 2 x 25 litre kerbside caddy for food waste
- Green bags for mixed recycling (equivalent to 240 litres)

The storage of which must be sensitively integrated into the design.

6. EXTERNAL CONSULTEE RESPONSES

- 6.1 **South Wales Police Architectural Liaison Officer** - South Wales Police have the following observations and recommendations to make regarding this application.

South Wales Police recognise that Houses in Multiple Occupation (HMO's) provide an important source of housing and form part of a balanced housing provision mix.

With reference to the application, South Wales Police would argue that the characteristics of an HMO and its more transient population mean that they are significantly at a higher risk of crime than single family occupied dwellings. South

Wales Police are therefore concerned that high concentration levels of HMO's could have a negative impact on crime levels in an area. This is supported by Cardiff Supplementary Planning Guidance Houses in Multiple Occupation (HMO) October 2016. In some areas that HMO's can have an impact on crime, disorder, parking, nuisance and general neighbourhood cohesion.

Where the density of HMO's in a street/area exceeds 20% then South Wales Police will consider objecting to any proposed development upon confirmation of existing HMO density by the planning officer.

There are 38 properties within a 50m radius of 82 Cathays Terrace, and records show that there are 24 registered HMO's within this area. This equates to 63% HMO's in the vicinity of the application.

Due to the above factors, South Wales Police would wish to object to this application.

7. **REPRESENTATION**

7.1 Neighbours have been consulted, no comments have been received

8. **ANALYSIS**

8.1 This application seeks planning permission to change the use of 82 Cathays Terrace from a C4 HMO to a 7 bedroom Sui Generis House in Multiple Occupation's (HMO). In order to facilitate the change of use, a ground floor and first floor rear extension together with a dormer roof extension is proposed.

Council Licensing records indicate that the property was Licensed as a House of Multiple Occupation (HMO) in 2011 for four occupants and there are no records to suggest that the property has been used as family accommodation since that time. The applicant describes the previous use of the property as a C4 HMO. Whilst planning permission has not been granted for the change of use of the properties to Use Class C4 it would be unreasonable to suggest that the use of the property would not fall within Use Class C4 as prior to the introduction of Use Class C4 in February 2016 planning permission was not required to use the property as a small HMO catering for up to six unrelated residents.

As Use Class C4 allows for tenanted living accommodation occupied by up to six people, who are not related and who share one or more basic amenities as their only or main residence, the main issue for this application is the impact one additional resident will have on the character of the area, the community and the living conditions of future occupiers of the property, in addition to the potential impact of the extensions and dormer roof extensions.

8.2 Policy **Considerations** - In respect of the conversion of a property to a large sui generis HMO for up to 7 occupants Policy H5 of the adopted LDP is considered relevant. Further guidance can also be found in the adopted HMO SPG

8.3 Policy H5 of the LDP is considered to be a prescriptive policy whereby as long as

the relevant criteria is met there is unlikely to be any objection to such proposals. It advises that:

“Proposals for any conversion to flats or Houses in Multiple Occupation will be permitted where:

i. The property is of a size whereby the layout, room sizes, range of facilities and external amenity space of the resulting property would ensure an adequate standard of residential amenity for future occupiers.

ii. There would be no material harm to the amenity of existing, nearby residents by virtue of general disturbance, noise or overlooking.

iii. The cumulative impact of such conversions will not adversely affect the amenity and/or the character of the area.

iv. Does not have an adverse effect on local parking provision.”

- 8.4 The approved Supplementary Planning Guidance on HMO's further expands on this Policy and aims to provide background information on, and provide a rationale for how the Council will assess applications for planning permission to create new C4 and *Sui Generis* HMOs. It aims to identify the threshold at which it is deemed that the concentration of HMOs in an area has reached a level considered to adversely impact upon the community. It is recognised that HMOs can provide an important source of housing and it is recognised that demographic change has driven many of the changes that have seen traditional family homes become HMOs. HMOs are a popular accommodation source for many groups, including students, young professionals, migrant workers and often people on lower incomes.

However, concentrations of HMOs clustered in small geographical areas can detract from the character of the area and actively contribute towards a number of perceived problems, including, but not limited to:

- Increased population density, leading to greater demand for infrastructure, such as waste collections and on-street parking.
- Higher proportion of transient residents, potentially leading to less community cohesion, undermining existing community facilities
- Areas of higher HMO concentrations becoming less popular with local residents, with many properties taken out of the owner-occupier market.
- A proliferation of properties vacant at certain times of the year
- Subsequent impact on crime, local centre viability, as a result of the number of properties temporarily vacant for long periods.

It is considered that this may conflict with policy KP13 of the LDP which aims to improve the quality of life for all.

Having identified some of the issues caused by HMOs the Council considered it was necessary to determine a threshold at which new HMOs may cause harm to a local area. This threshold will resist further HMOs in communities that already have a concentration above this limit, while also controlling the growth of HMOs in communities below this threshold. A two-tier threshold will therefore be applied to determine when an area has reached the point at

which further HMOs would cause harm. In Cathays and Plasnewydd the figure of 20% is to be applied and in all other wards, the figure of 10% is to be applied.

This means that within Cathays or Plasnewydd, if more than 20% of the dwellings within a 50m radius of the proposed HMO are already established HMOs (i.e. either C4 or sui generis in Planning terms) then this development would be considered unacceptable. In other wards the figure would be 10%.

Having regard to the “cumulative impact” of such conversions in respect of this application, an analysis has been made on the extent of HMO’s (including those defined as such under Sections 254 to 259 of the Housing Act 2004 and those covered under the Additional Licensing Scheme which operates within the Cathays and Plasnewydd Wards of Cardiff) against the threshold limits identified above. As the application site is located within the Cathays Ward of Cardiff a 20% threshold limit will be relevant and having undertaken such checks within 50m of the application site it was found that there were 24 registered HMO’s within 50m of the application site (including the application site) which equates to 63%. This is above the 20% limit which would trigger the active consideration of negative cumulative impact consequences.

- 8.5 It should also be noted that Supplementary Planning Guidance is guidance and whilst a material consideration when making planning decisions it is not the sole planning consideration and other factors may also influence the decision making process. Each application should therefore be considered on its individual merits. In this instance regardless of whether this application is approved or refused the property will still remain in use as C4HMO’s and will not revert back to C3 residential accommodation until such time as the owner chooses to do so.
- 8.6 **Room Sizes** – The Cardiff HMO Licensing Fire & Safety Standards (updated in 2014) sets standards in terms of amenity, space standards and facilities which must be adhered to in order to obtain a License from the Council. From a planning perspective, paragraph 6.1.1 of the adopted HMO SPG identifies that this would be the minimum that would be expected to be achieved for all applications for both C4 HMO’s and larger sui generis HMO’s. Having had regard to this criteria the submitted plans indicate that these standards would be met.
- 8.7 **Waste** – Policy W2 of the Cardiff Local Development Plan seeks to ensure that adequate provision is made for waste management facilities within new developments, in order to aid the Council in meeting the challenging waste recycling targets set by European and National targets. Facilities provided should be secure, unobtrusive and easily assessable.

The adopted Waste Collection and Storage Facilities SPG supplements policies adopted in the LDP relating to the provision of waste management facilities in new development. Paragraph 4.12 of the approved SPG on Waste Collection and Storage Facilities advises that for HMO’s the recommended bin allocation for between 6 & 8 residents is as follows :-

1 x 240L bin for general waste
1 x 240L bin for garden waste (if required)
2 x 25L bins for food waste
Green bags for recycling.

This application seeks to change the use of the property from a C4 HMO (6 occupants) to a 7 person sui generis HMO. Waste Management has been consulted and has advised that an increase in the number of habitable rooms will lead to an increase in the production of waste. The landlord /owner may need to provide larger/additional bins to accommodate this.

The proposed area for the storage of waste and recycling in the rear amenity area identified on the submitted plan has been noted and is acceptable, refuse storage must thereafter be retained for future use. Condition 4 has been imposed to ensure the bin storage area is retained.

- 8.8 **Transportation** - Policy KP8 of the LDP seeks to reduce travel demand and dependence on the car. It identifies that to accommodate the planned growth levels predicted for the city, existing and future residents will need to be far less reliant on the private car and seeks to ensure that more everyday journeys are undertaken by sustainable modes of transport. Policy T5 of the LDP also identifies that all new development for which planning permission is required will contribute to reducing reliance on the private car, in line with national planning policies and the strategic transport objectives of the LDP. The Council's approved Supplementary Planning Guidance on Managing Transportation Impacts (Incorporating Parking Standards) supplements the LDP in this respect and sets out the Council's approach to assessing and managing the transport impacts of developments within the City. Section 6 of the SPG refers to parking standards and is therefore an important tool to be used in managing demand for travel by car and encouraging a shift to sustainable transport modes.

In respect of car parking the SPG identifies that a C4 HMO does not require any off street car parking spaces to be policy compliant. When assessed against the SPG the use of the property as a 7 person HMO also does not require any off street car parking spaces. As such the proposal is policy compliant with no off street car parking facilities.

With respect to cycle parking the use of the property as a C4 HMO requires 1 undercover and secure cycle parking space per bedroom to be policy compliant. The use of the property as a 7 person sui generis HMO will also require 1 under cover and secure cycle parking space to be policy compliant. As this application seeks the change of use of a 4 bedroom HMO to a 7 bedroom HMO then 7 undercover and secure cycle parking spaces will need to be provided. The applicant has submitted plans which indicate that 7 undercover and secure cycle parking spaces can be provided within the rear garden which is considered acceptable. Condition 3 has been imposed to ensure such facilities are provided and retained.

- 8.9 **Amenity Space** – Criterion i) of Policy H5 of the LDP advises that planning permission will be granted where “*The property is of a size whereby the ...external amenity space of the resulting property would ensure an adequate standard of residential amenity for future occupiers.*” This is further reinforced by the HMO SPG which advises that amenity space is important in retaining a quality of life for people living within the dwelling. Paragraph 6.3.2 of the SPG states “*The City of Cardiff Council has typically used the figure of 25m² as the minimum expected external useable amenity space for C3 dwellings, i.e. for those dwellings up to 6 persons. This level should also apply to C4 properties. Each additional person would be expected to have 2.5m². As such, for example, the minimum expected for a 7 bed HMO would be 27.5m² of external amenity space. Each additional person should result in a corresponding increase of 2.5m². Useable amenity space is considered to be at least 1.4m wide, enabling storage and access.*”

In respect of amenity space as the application seeks permission for 7 occupants to reside at each property then 27.5 square metres will be required. Having undertaken an assessment of the property an amenity space of approximately 40 square metres will be available for occupiers to use (in addition to provision for bin and cycle storage facilities). As the minimum amenity space requirement as specified in the HMO SPG will be 27.5 square metres the proposal is therefore considered acceptable when considered against the HMO SPG.

- 8.10 **Relevant Planning Appeal** – Notwithstanding the consideration of each case on its merits it should be of note that since the adoption of the SPG on HMO's the Council has tried to resist the change of use from C4 to sui generis HMO's where the threshold identified in the SPG has been exceeded. In this respect 70 Gelligaer Street (reference APP/Z6815/A/17/3169335) - change of use of an existing C4 HMO to a 7 person HMO is of note. In considering the appeal and awarding costs to the applicant the appointed Planning Inspector stated:

“3. Policy H5 of the Cardiff Local Development Plan, 2016 (LDP) is permissive of conversions to Houses in Multiple Occupation (HMO) subject to a number of criteria being met. These include that there would be no material harm to the living conditions of nearby residents and that the cumulative impact of conversions should not adversely affect the amenity and/or the character of the area. Planning Policy Wales (PPW) requires local planning authorities to promote sustainable residential environments and advises that the cumulative impact of, amongst other things, conversions should not be allowed to damage and area's character or amenity.

4. The Council has produced supplementary planning guidance (SPG) to provide background information and provide a rationale for how decision makers should approach HMOs. The SPG was adopted following public consultation and I afford it considerable weight. The SPG sets thresholds above which it deems that the concentration of HMOs would have an adverse impact on the community and includes advice relating to proposals to increase the number of occupants above 6.

5. In this case the SPG threshold of 20% has been exceeded. However, the appeal property can lawfully be used as a 6 person HMO and, whatever my decision, the appeal proposal would not result in an increase in HMOs or have any effect on the percentage of HMOs in the area. The appeal property is in use as a 6 person HMO and the issue narrows; therefore, to the impact an additional person living in this property would have on the character of the area and the community.

6. With regard to proposals to increase the number occupants in a Class C4 HMO, the Council's SPG states: 'Even though it is already an HMO, if the concentration in the area is high, then by definition, the creation of the larger sui generis HMO will only likely heighten the issues caused by HMOs'. However, I agree with Council officers that: 'SPG's are guidance and whilst they are a material consideration when making planning decisions they are not the sole planning consideration and other factors may also influence the decision making process'. I have considered the comments in the SPG regarding the impacts HMOs can have on communities. Whilst this provides useful background each case must be determined on its merits and actual harm must be demonstrated in order for planning permission to be properly withheld.

7. The reason for refusal alleges that the proposal to increase the number of people living in the appeal property from 6 to 7 would lead towards less community cohesion and undermine the objectives of securing a sustainable mixed use community, lead to an increase of cumulative demand on social, community and physical infrastructure and further exacerbate the negative impacts caused by HMOs in respect of crime and anti-social behaviour.

8. The Council present no evidence to demonstrate that the social, community or physical infrastructure in the area is not able to accommodate demand or that its continued provision is threatened by the appeal proposal. The Council's Waste Management service state that the proposal would have little impact on the production of waste and that the current arrangements are sufficient.

9. The objection from South Wales Police is predicated on general concerns regarding the impact of HMOs and a record of incidents 'in the near vicinity'. In an e mail to the appellant the Police admit that 'near vicinity' in this case included 9 post code areas. In its response to the planning application the Police say this: 'Where the density of HMO's in a street/area exceeds 20% then South Wales Police will consider objecting to any proposed development upon confirmation of existing HMO density by the planning officer. There are 38 properties within a 50m radius of 70 Gelligaer Street and records show that there are 16 registered HMO's within this area. This equates to 42% HMO's in the vicinity of the application. Due to the above factors South Wales Police would wish to object to this application'.

10. I do not make light of the concerns of the Police or others with regard to crime or anti-social behaviour. However, the Police's objection appears to be

a generic response based on general background data. The Council state that 6 crimes were recorded 'for the length of Gelligaer Street' but not what they were or whether they were related to HMOs. Nor have I seen or read anything to demonstrate that Gelligaer Street suffers to a greater extent than anywhere else from such problems or that the addition of one person would make any material difference if it does.

12. For the reasons given above and having regard to all matters raised, I find that the proposed development does not conflict with local and national policies designed to secure and maintain sustainable communities and that it would not have an adverse impact on the living conditions of neighbouring residents. Consequently, I conclude that the proposal complies with Policies H5 and KP5 of the LDP and that the appeal should be allowed. "

- 8.11 Further to this appeal decision the Council has also resisted the change of use of a C4 HMO to an 8 bedroom HMO at 36 Wyeverne Road and the change of use of a C4 HMO to a 9 bedroom HMO at 34 Wyeverne Road. Both appeals were allowed with the Planning Inspectors taking the view that the proposals would not cause any adverse effects on the character and/or amenity of the area and were in compliance with Policy H5 of the LDP.

Members should be aware that the Council has also been successful in defending its position with respect to the refusal to grant C4 and larger sui generis HMO's at 51 Llantrisant Street, 60 Alfred Street and 22 Flora Street. It is noted, however, that these applications related to the loss of C3 residential accommodation. In this present case the application site already benefits from being a C4 HMO and therefore whilst these appeal decisions are worth noting the site circumstances are different to that which is presently before Committee.

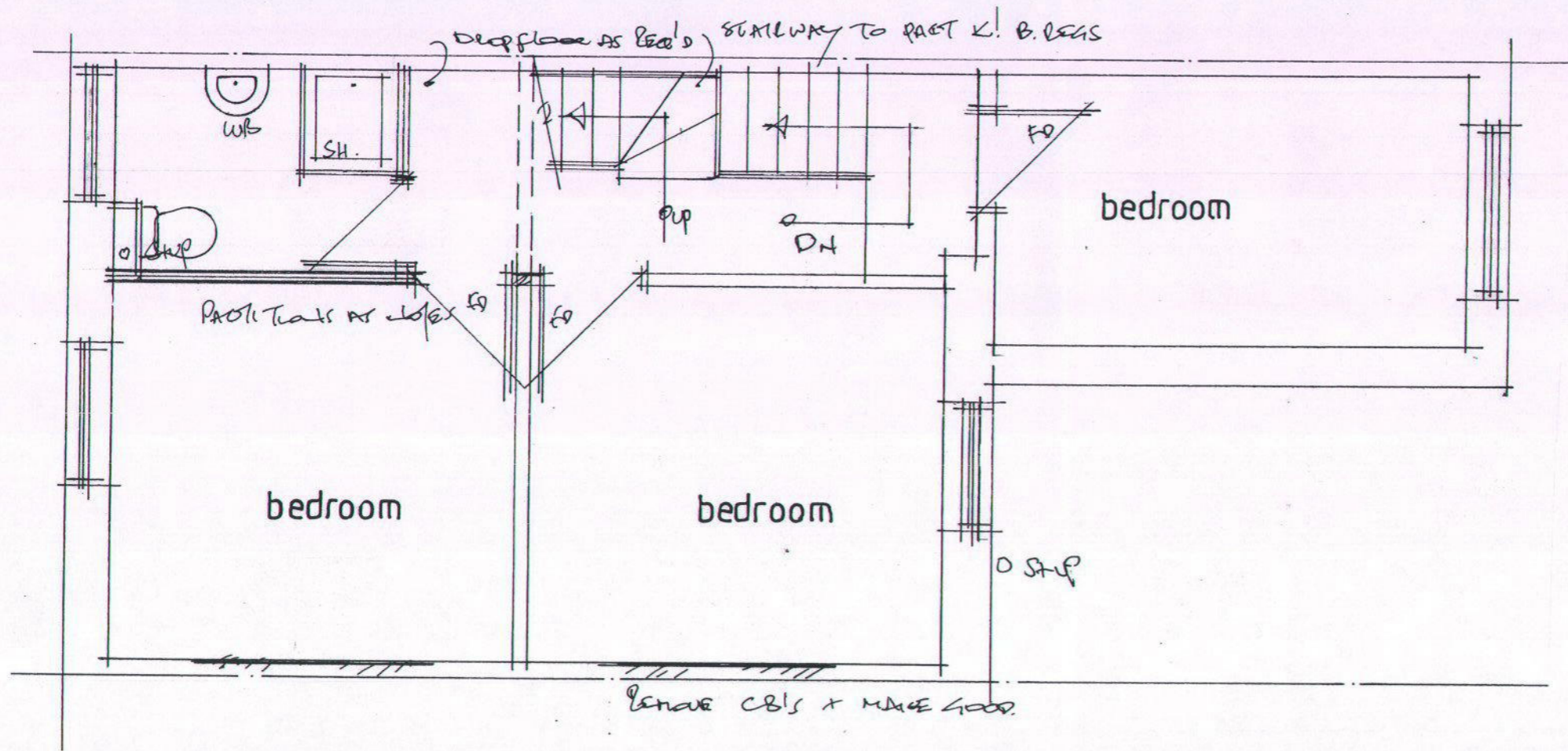
- 8.12 **Ground floor rear extension** - In respect of the ground floor rear extension this is considered acceptable in regards to its scale and design and will provide a subservient addition to the dwelling. It will also provide for a better internal living arrangement for future occupiers. It is not considered that the ground floor extension will result in any undue overlooking and will not reduce the size of the rear garden to such an extent that it will be unusable.
- 8.13 **Rear dormer roof extension** – The dormer is to be sited up to the roof ridge and set up from the roof eaves and finished in hanging slate to match the existing roof covering in line with advice contained within the Residential Extensions and Alterations SPG. It should also be noted that a dormer of this size and design is not an untypical development in the surrounding area, whereby many others have been consented by the Council or have been built using existing Permitted Development regulations.

9. **RECOMMENDATION**

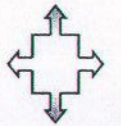
- 9.1 Having taken all of the relevant factors into consideration it is concluded that whilst the threshold of HMO's as stated in the SPG has been exceeded in respect of the locality the Council is mindful of its previous attempt to resist a

similar proposal in respect of 70 Gelligaer Street where costs were awarded to the applicant for the Council's unreasonable actions, and the two other examples quoted where Inspectors did also not find in favour of the Council. In this case the property can lawfully be used as a HMO and a refusal will not result in the property reverting back to C3 residential accommodation. It is however considered necessary to include a condition that will restrict the number of occupants to seven.

Further to the above report it is considered that there are insufficient grounds to refuse this application and it is therefore recommended that planning permission be granted, subject to conditions.



DTB DESIGN
 TEMPLE COURT 13a CATHEDRAL ROAD
 CARDIFF CF11 9HA
 TEL 029 2035 0365

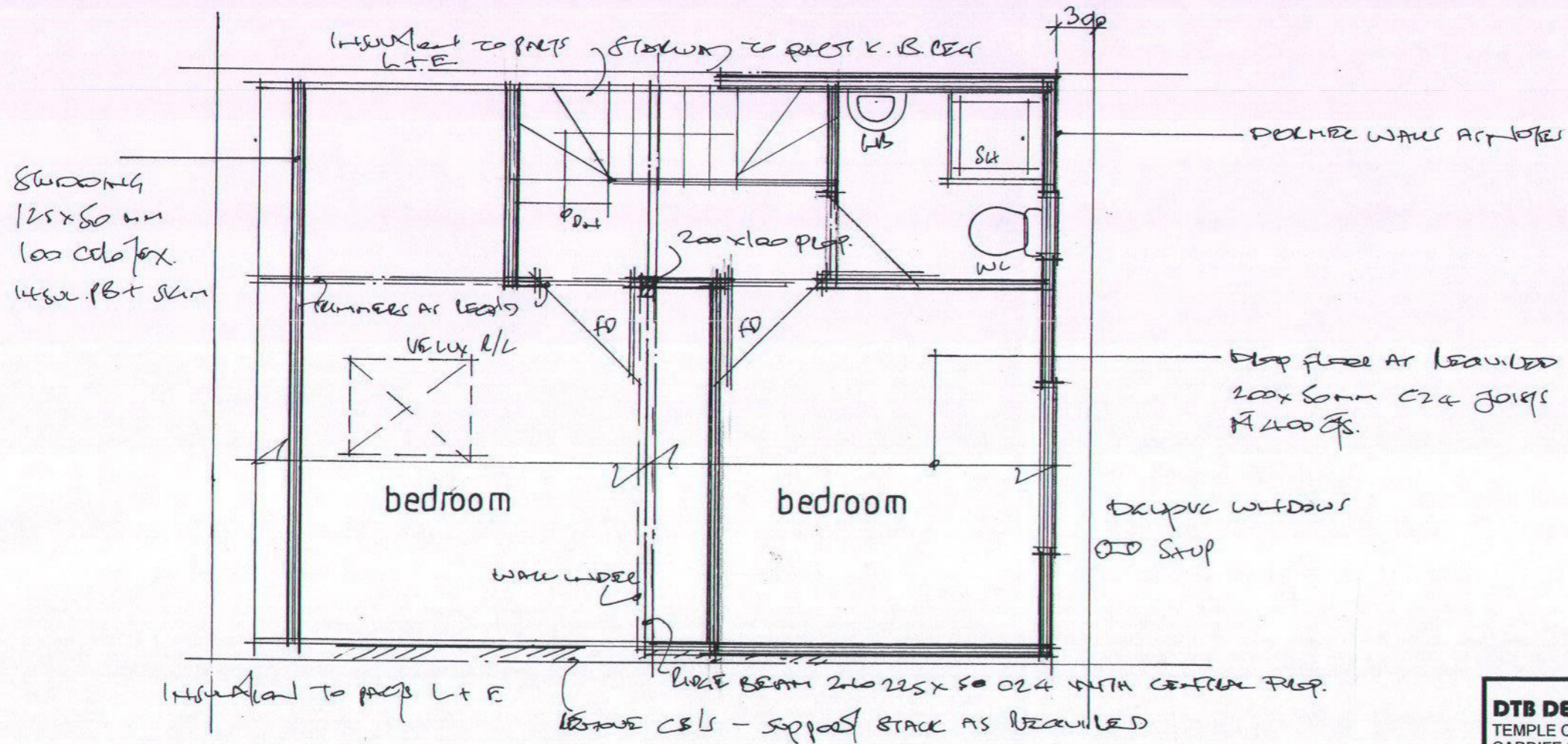


REVISIONS	DATE	REVISIONS	DATE

**DEVELOPMENT AT
 82 CATHAYS TERRACE
 CARDIFF**

DATE JULY 2019 PLAN NO. CEY3/4

FIRST FLOOR PROPOSED 1:50 at A3



STAIRS
125x50 mm
100 c/c joist
1450x180+skm

DTB DESIGN

TEMPLE COURT 13a CATHEDRAL ROAD
CARDIFF CF11 9HA
TEL 029 2035 0365



REVISIONS	DATE	REVISIONS	DATE

**DEVELOPMENT AT
82 CATHAYS TERRACE
CARDIFF**

DATE JULY 2019 PLAN NO. CEY3/5

SECOND FLOOR PROPOSED 1:50 at A3

COUNCILLOR OBJECTIONS AND PETITION

COMMITTEE DATE: 16/10/19

APPLICATION NO. **19/02126/DCH** APPLICATION DATE: 31/07/19ED: **CYNCOED**

APP. TYPE: Full Planning Permission

APPLICANT: Dr A Helu

LOCATION: 1 THE FAIRWAY, CYNCOED, CARDIFF, CF23 6RF

PROPOSAL: SINGLE STOREY REAR AND TWO STOREY SIDE
EXTENSIONS

RECOMMENDATION 1: That planning permission be **GRANTED** subject to the following conditions:

1. C01 Statutory Time Limit
2. The development shall be carried out in accordance with the following approved plans:
 - 201 R4
 - 202 R4

Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.

3. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (Amendment) (Wales) Order 2013 (or any Order amending, revoking or re-enacting that Order) no windows shall be inserted in the south west elevation of the extension.
Reason: To ensure the privacy of adjoining occupiers is protected in accordance with Policy KP5 of the adopted Cardiff Local Development Plan (2006-2026).

RECOMMENDATION 2: That the applicant be advised that no work should take place on or over the neighbour's land without the neighbour's express consent and this planning approval gives no such rights to undertake works on land outside the applicant's ownership.

RECOMMENDATION 3: Dwr Cymru Welsh Water advise that the proposed development site is crossed by a public sewer and that no development will be permitted within the safety zone which is measured 3m either side of the centre line. For details please contact Developer Services on 0800 917 2652 or developer.services@dwrcymru.com

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 Full planning permission is sought to extend an existing semi-detached house with a two storey extension to the side and a wraparound single storey element to the remaining side and the rear. The side extension would have a small single storey element at the front, which would extend forward of the front elevation of the existing dwelling, following the building line of the existing front porch. The two storey element would extend out to the side by a maximum of 3.2m, becoming narrower towards the rear, following the broadly triangular shape of the site. The two storey element would be 2.9m deep with a pitched roof. The roof pitch would match that of the main roof, and would have a ridge line 1.5m below that of the ridge of the main roof. The wraparound single storey element would extend out a maximum of 3m to the side, becoming narrower towards the rear, and would extend beyond the rear wall of the existing house by 3.9m. It would have a sloping roof which would be 2.5m in height at the eaves and 3.3m at its highest point. The side elements would be set off the rear boundary of the houses along Westminster Drive by approximately 1m. The first set of amended plans submitted indicated an additional side facing door at ground floor level and an additional rear facing window at first floor level.
- 1.2 The proposals initially included a hip to gable roof alteration and a rear dormer. A certificate of lawful development has subsequently been granted for the hip to gable alteration and rear dormer, i.e. confirming that these elements can be carried out under permitted development rights and do not require planning permission from the Local Planning Authority. This application has, therefore, been amended to remove these elements from consideration. The second set of amended plans submitted demonstrate the roof elements, but are annotated to indicate that the hip to gable alteration and rear dormer will be carried out under permitted development rights.
- 1.3 Construction work has already commenced on the application site. The walls of the proposed extensions have been partially built at ground floor level. The hip to gable alteration and rear dormer are nearing completion.

2. **DESCRIPTION OF SITE**

- 2.1 The site is located on the north west side of The Fairway, a residential street accommodating a mix of semi-detached two storey dwellings and bungalows. The site is broadly triangular in shape, being wider at the front of the site where it adjoins the pavement and narrower at the rear boundary. The western boundary of the site adjoins the rear boundary line of houses along Westminster Drive. The site sits at a slightly lower ground level than the houses on Westminster Drive.

3. **SITE HISTORY**

- 3.1 19/02517/DCH – A Certificate of Lawful Development for a rear dormer and a hip to gable alteration was granted on 23/09/19.

4. **POLICY FRAMEWORK**

4.1 National Planning Policy

- Planning Policy Wales (2018)
- Technical Advice Note 12 'Design' (2014)

4.2 Cardiff Local Development Plan (2006-2026)

- Policy KP5 'Good Quality and Sustainable Design'
- Policy T5 'Managing Transportation Impacts'

4.3 Supplementary Planning Guidance

- Residential Extensions and Alterations (2017)
- Managing Transportation Impacts (Incorporating Parking Standards) (2018)

5. **INTERNAL CONSULTEES RESPONSES**

5.1 None.

6. **EXTERNAL CONSULTEE RESPONSES**

6.1 Dwr Cymru Welsh Water comment that the proposed site is crossed by a public sewer. Under the Water Industry Act 1991 Dwr Cymru Welsh Water has rights of access to its apparatus at all times. No part of the building will be permitted within 3 metres either side of the centreline of the public sewer.

7. **REPRESENTATIONS**

7.1 Neighbouring occupiers have been notified of the original and the amended plans by way of neighbour consultation letters.

7.2 A petition of 59 signatures has been received objecting to the proposal.

7.3 Councillor Hopkins and Councillor Malik write in support of constituents who have objected, requesting that the application is determined by Planning Committee and raising the following concerns:

- Building work commenced immediately after the house was purchased, prior to submission of a planning application;
- Plans represent a substantial over-development of a single residential property;
- Original roofline allowed for unhindered views of the skyline but the scale of the proposed dormer will significantly overshadow and overlook gardens of adjoining properties, compromising privacy;
- Dormer is unsightly in size and contrasts with the dormer on the adjoining property which has been extended in a manner more in keeping with the style and overall size of this and neighbouring properties;
- Potential adverse impact on resale value of neighbouring properties;
- Concerns about whether the proposals fall within permitted development limits;

- Commencing work on the property prior to receiving a planning determination may be a contravention of planning regulations;
- Concern the dormer is excessively scaled and may not meet guidelines contained in the SPG;
- Proximity of side extension to neighbouring properties means it should be subject to Party Wall Act and a party wall agreement;
- Planning application submitted was not accurate as it stated there would be no demolition, no alterations and enlargements to the roof and no loss of trees and hedges;
- Plans do not include dimensions, such information is material to decisions about the appropriateness of the plans;
- Concern Building Regulations approval may not have been sought;
- Ongoing development should be halted until a determination is made about the planning application as a whole;
- Development has caused disquiet and distress amongst a significant number of local residents. Developer has not followed good practice guidelines in the SPG advising developers to respect the context of the neighbourhood and to consult neighbours where the proposals affect their home or privacy. The development risks being un-neighbourly.

7.4 Letters of objection have been received in relation to the original plans and also the amended plans from the occupier of 3 The Fairway; the occupiers of 12, 14 and 18 Westminster Drive; the occupier of 4 Hampton Crescent West and Martin Carr of Building Logistics on behalf of an unspecified neighbouring occupier. They object to the proposal on the following summarised grounds:

Design

- The proposed extensions represent an over-development of the plot/overcrowding of the site;
- Out of keeping/out of character with surrounding houses and the area;
- Proposals are out of keeping with the form and scale of the existing house and do not sit comfortably within the street scene. Extension would not be subservient;
- Overall bulk and aesthetic appearance of the proposed dormer is not in keeping with the proportions of the existing house. Disproportionate to the existing property;
- Negative/adverse visual impact;
- Setting of a precedent which would allow further oversized caruncles to be approved;
- Dormer extensions which extend on all three elevations are bulky, incongruous and unsightly to neighbouring residents;
- Poor design which is hideous/unsightly in appearance;
- Large flat roof dormer will appear top-heavy. The rear of the property has the appearance of having a third storey added;
- Proposals will unbalance the pair of semis - extended house will be very large and will differ significantly from/be incompatible with the house that it is attached to (no.3);
- Dormer as constructed appears very similar to a diagram in the SPG which demonstrates unacceptable dormer design. Likely the proposals

exceed the requirements for planning permission to be granted set out in the SPG;

- Side extension would not fall under permitted development limits.

Impact upon Neighbouring Occupiers

- Overbearing impact;
- Overlooking of neighbours' rear facing windows and gardens and detrimental impact upon privacy;
- Loss of view and outlook. Current skyline views will be dominated by the extended ridges, hips and verges of the proposed dormer structures;
- Loss of daylight and increased overshadowing;
- Increased shading of gardens and detrimental impact upon ability of neighbours to grow plants;
- Building work has caused disturbance, dust and noise preventing quiet enjoyment of homes and gardens, inability to have windows open, sit out or hang washing out etc.
- Building work has left the house without a roof and the internal party walls with no. 3 exposed to the elements.

Issues with the Commencement of Construction

- Construction work commenced prior to the planning application being determined;
- Construction work under way differs from the submitted proposals and what the applicant has informed neighbours he is intending to build;
- Applicant has not filled in the application form correctly e.g. a garage has been demolished when he has indicated that no demolition will take place;
- Work on site should have been stopped.

Other Issues

- None of the submitted drawings contain any measurements or details of materials, making assessment of whether the development falls within permitted development limits difficult;
- Construction of the dormer appears to exceed the limits of permitted development;
- No Party Wall agreement has been entered into;
- Health and safety concerns relating to building practices;
- Concern about level of insulation and soundproofing being installed between the roof space and the neighbouring house;
- Concern owner is a property developer who doesn't intend to live in the house;
- Decrease in value and saleability of neighbouring homes;
- Applicant should have bought one of the large 4 bedroom houses available for sale in the area;
- Damage was caused to garden fences when the garage was demolished. Cracks have appeared in the wall of the neighbour's playroom;
- Stressful experience for neighbours as construction has been carried out at a rapid pace and has not been stopped despite requests that it should be stopped;

- Likely that the proposed side opening door could not open fully due to the limited space between the extension and the neighbour's rear boundary wall;
- Small gap between the footings dug for the extension and the neighbour's boundary wall;
- Possibility of a raised balcony or roof terrace being constructed off the dormer;
- No objection to an appropriate extension being constructed, such as that built at the adjoining semi-detached property;
- Conditions should be imposed which will ensure that the development mirrors that constructed at the adjoining semi-detached property.

7.5 Neighbouring occupiers and objectors have been consulted on the second set of amended plans which are annotated to show the dormer and hip to gable alteration being carried out under permitted development rights. The 14 day consultation period ends on 10/10/19 and any representations received which raise additional issues will be reported as late representations.

8. **ANALYSIS**

8.1 The key material planning considerations are:

- The scope of the proposal;
- Impact upon the character of the area;
- Impact upon the occupiers of neighbouring properties;
- Other matters raised.

8.2 **The Scope of the Proposal**

The proposal initially included a hip to gable roof alteration and a rear facing dormer. Construction of the roof alterations and dormer began in July, with the building work initially appearing to exceed the parameters of development allowed under permitted development rights. The roof plane and the depth of the rear dormer were subsequently altered on site so that they fall within permitted development rights. A Lawful Development Certificate (19/02517/DCH) for the hip to gable alteration and rear dormer was granted on 23/09/19. Concerns raised regarding the design and scale of the dormer are noted, but a Lawful Development Certificate is concerned only with whether the development is within the parameters of what is lawful, with no consideration of the merits of the scheme proposed. Amended plans were subsequently submitted in relation to this application which indicate that the hip to gable alteration and rear dormer are being constructed under permitted development rights. For the avoidance of doubt, the hip to gable alteration and rear dormer are outside the scope of the determination of this application and have consequently been removed from consideration.

8.3 **Impact Upon the Character of the Area**

The two storey side extension and single storey wraparound element along the remainder of the side elevation and to the rear are considered acceptable in terms of scale and design. The single storey element at the front would be

located in front of the principal elevation of the existing dwelling, which would normally not be supported in planning terms. However, as the existing porch is forward of the front wall of the house, the continuation of the building line across to the front of the side extension is considered acceptable in design terms in this instance. It is noted that the two storey element would not be set back significantly from the principal elevation of the existing house. However, when considering the position of the existing porch forward of the principal elevation, the continuation of a single storey element in front of the two storey extension and the position of the ridge of the roof below that of the ridge of the main roof, these elements are considered sufficient to demonstrate subservience.

Several of the neighbouring properties have been substantially altered and extended to the side or to the rear, including the house which makes up the other half of the pair of semis, which has a single storey wraparound extension. In light of this, it is not considered that the proposed side and rear extensions would represent unusual or incongruous features, or that they would prejudice the general character of the area.

8.4 Impact Upon the Occupiers of Neighbouring Properties

The two storey and single storey side extension would run parallel with the rear boundary line of no. 10-14 Westminster Drive, which are two storey houses to the west of the application site. The houses on Westminster Drive are set slightly above the ground level of the application site and orientated broadly at a right angle to the application property. The proposed extension would be separated from the rear boundary of the houses on Westminster Drive by approximately 1m. A distance of 10.5m, or more, would be maintained between the rear of the houses on Westminster Drive and the side wall of the proposed extension. Given the orientation of the houses, it is acknowledged that some degree of additional overshadowing of the ends of the neighbouring gardens may occur as a result of the two storey element proposed. However, when taking into account the separation distance and the position of outbuildings at the end of some of the neighbouring gardens, it is not considered that the effect would be so significant that it would warrant a refusal of planning permission in this instance.

The two storey element would be located approximately 10.5m away from the closest point of the rear of houses along Westminster Drive, several of which have been extended to the rear. Although the proposal would result in the two storey element being closer to the neighbouring houses than the existing side wall, due to the separation distance and taking into account that the two storey element would only cover part of the existing side wall, it is not considered that there would be an overbearing impact upon the occupiers.

The rear extension would adjoin a similarly proportioned single storey extension to the rear of the attached house. It is not considered that there would be any detrimental impact upon the occupiers of no. 3 in terms of overshadowing or overbearing impact.

8.5 Other Matters Raised

- All planning applications are determined based on their own merits;
- Impact upon the value or saleability of neighbouring houses is not a material planning consideration;
- The availability for sale of larger properties in the area is not a material planning consideration;
- Issues relating to the party wall fall outside the scope of planning legislation and would be dealt with under the Party Wall Act 1996;
- Any damage potentially caused by construction works, demolition of the garage, or the internal party walls being open to the elements would be a civil matter to be resolved between the relevant parties;
- Health and safety concerns relating to building sites are outside the scope of planning legislation and are the responsibility of the Health and Safety Executive;
- No regard can be given to whether the applicant is a property developer or whether he intends to live in the property himself;
- Building Regulations is a separate approval process to the planning application;
- It is not an offence to commence development without the benefit of planning permission. The application will still be assessed upon its merits;
- It is acknowledged that the two storey and single storey extension proposed falls outside the parameters of permitted development, but as a planning application has been submitted the extension is not required to be within these limits;
- Scaled drawings were submitted which can be measured using a scale ruler. It is noted that applicants are not obliged to include figured measurements on their drawings;
- The application submitted does not contain proposals for a roof terrace or balcony off the rear dormer;
- The Council has no powers to compel the applicant to mirror the development carried out on the adjoining house. In determining this application, regard can only be given to the acceptability or otherwise of the proposals submitted by the applicant.

9. OTHER CONSIDERATIONS

- 9.1 Crime and Disorder Act 1998 – Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.
- 9.2 Equality Act 2010 – The Equality Act 2010 identifies a number of ‘protected characteristics’, namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council’s duty under the above Act has been given due consideration in the determination of this application. It is considered that the

proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.

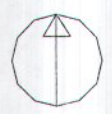
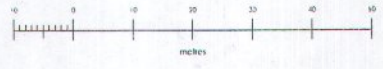
- 9.3 Well-Being of Future Generations Act 2016 – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objections as a result of the recommended decision.

10. **RECOMMENDATION**

- 10.1 Having regard to the policy context above, the proposal is considered acceptable and it is recommended that planning permission be granted, subject to conditions.

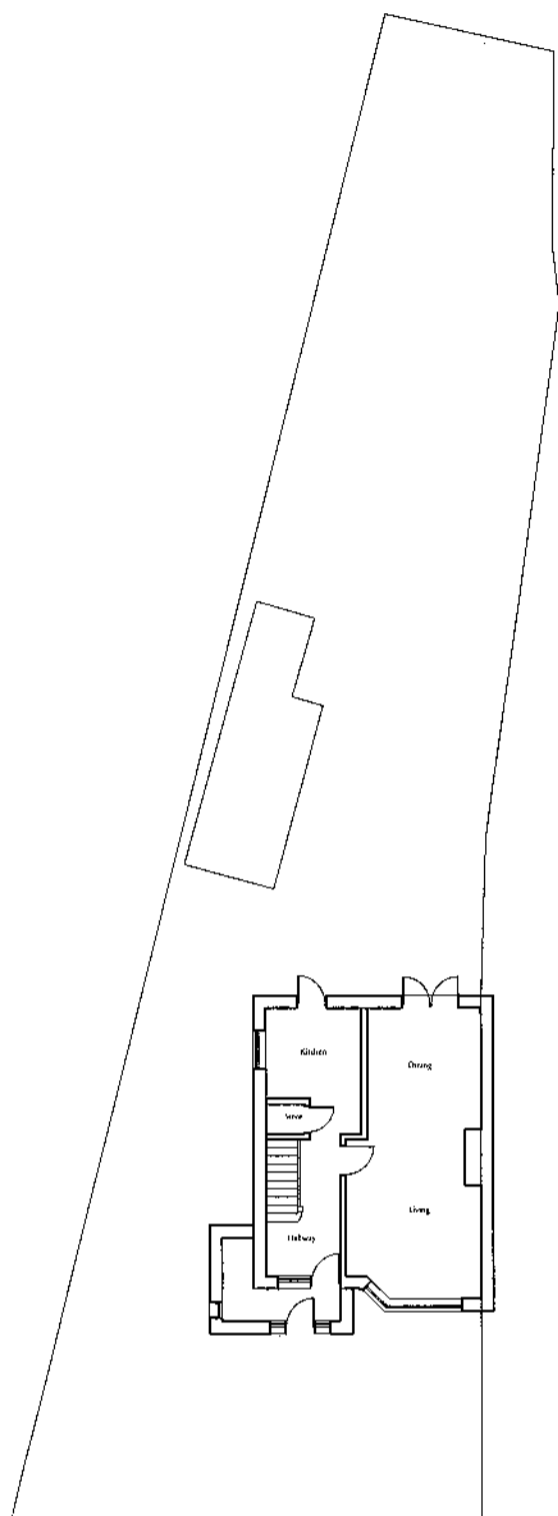


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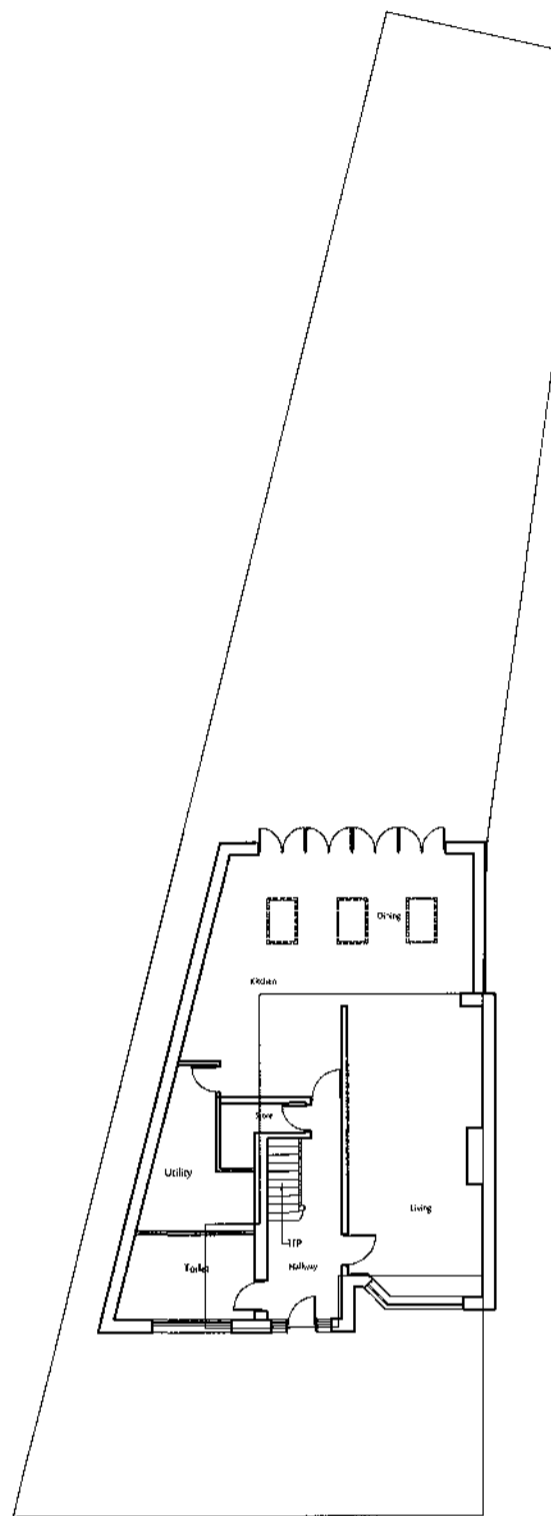


19/02123

Site Location Plan



EXISTING
SITE PLAN



PROPOSED
SITE PLAN

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Date: JULY 2019

Project: 1 THE FAIRWAY

Client:

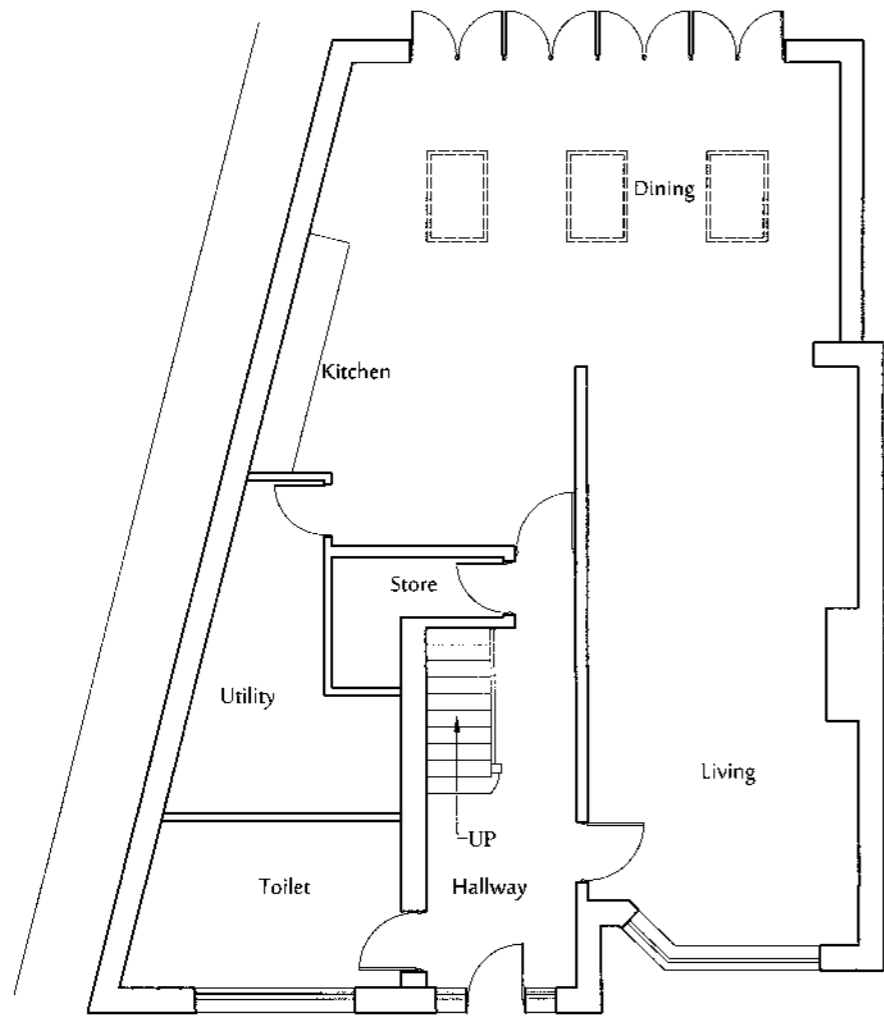
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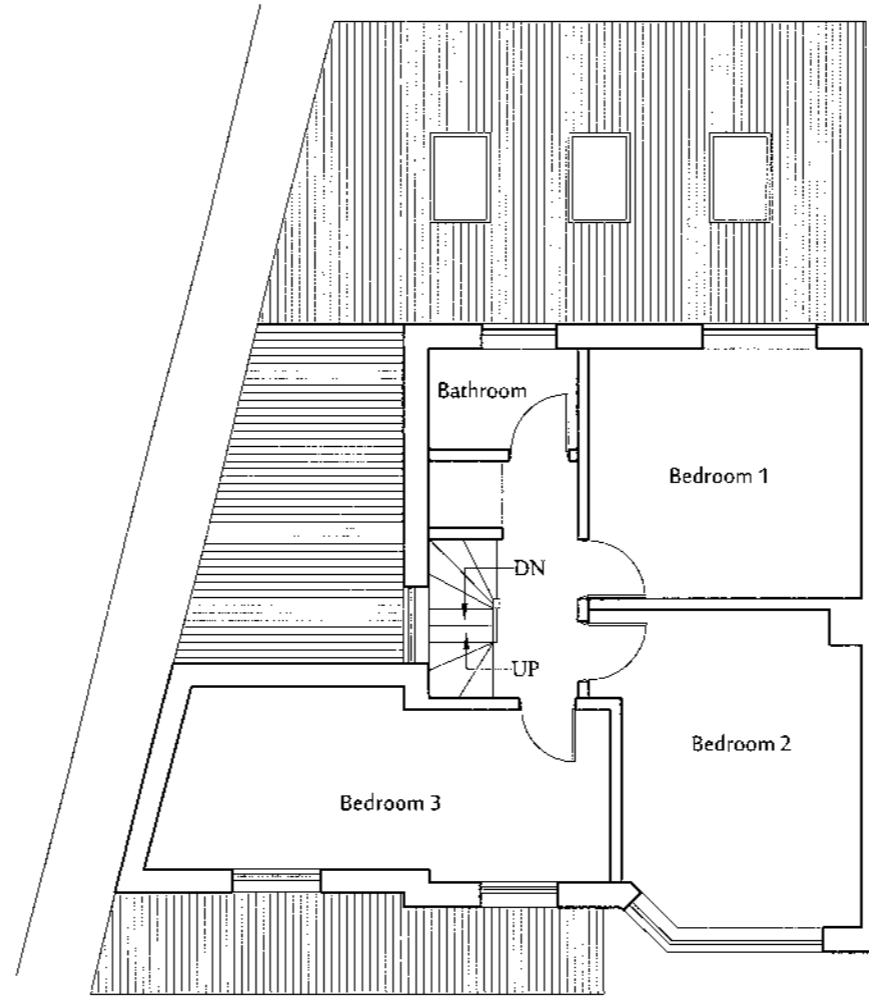
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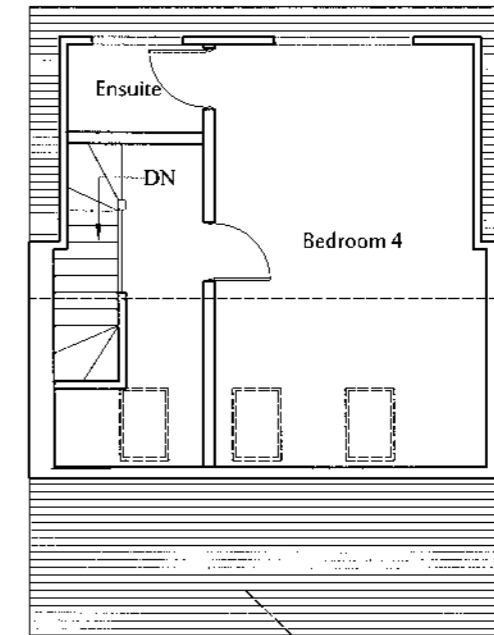
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Email: info@skdesigns.org.uk




PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

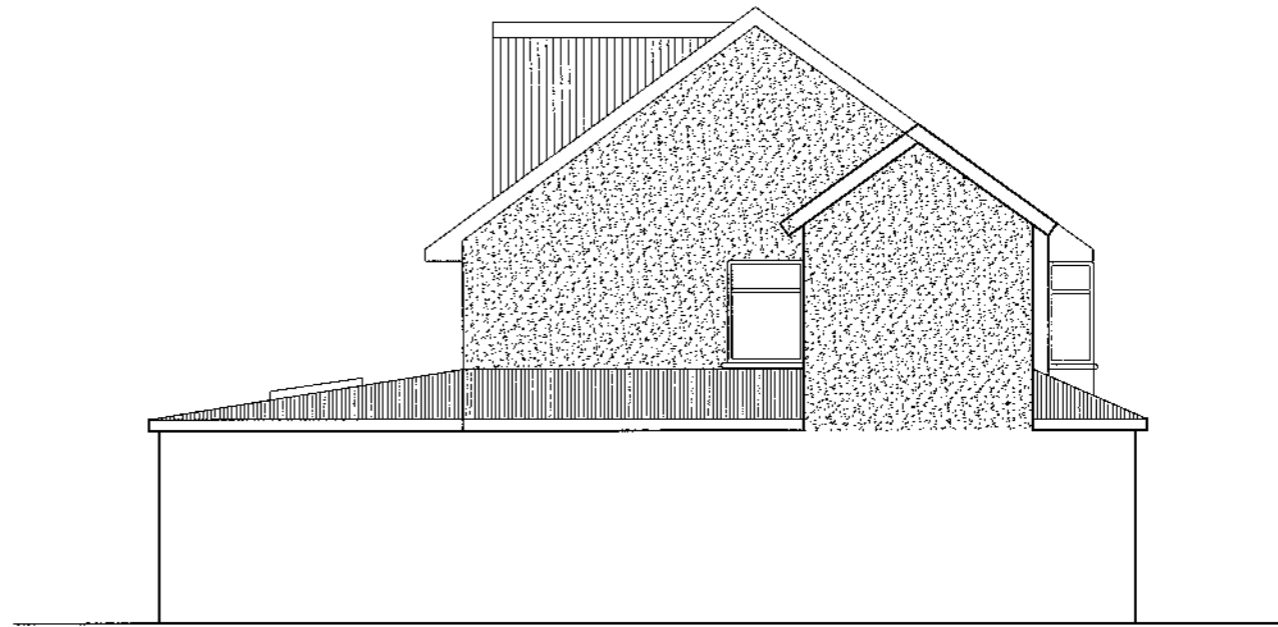


PROPOSED LOFT PLAN

<small>© This drawing is copyright. Do not scale. Contractor to check all dimensions on site and to report any discrepancies directly to the SO.</small>			 SK DESIGNS <small>590, Cleaveron Way, Ladbroke, Cardiff, CF21 4DR Tel: 019 20 761 950 Fax: 019 20 761 950 Email: info@skdesigns.org.uk</small>
Date: JULY 2019			
Project: 1 THE FAIRWAY			
Client:			
Description: PROPOSED PLANS	Job No:	Scale: 1:100	
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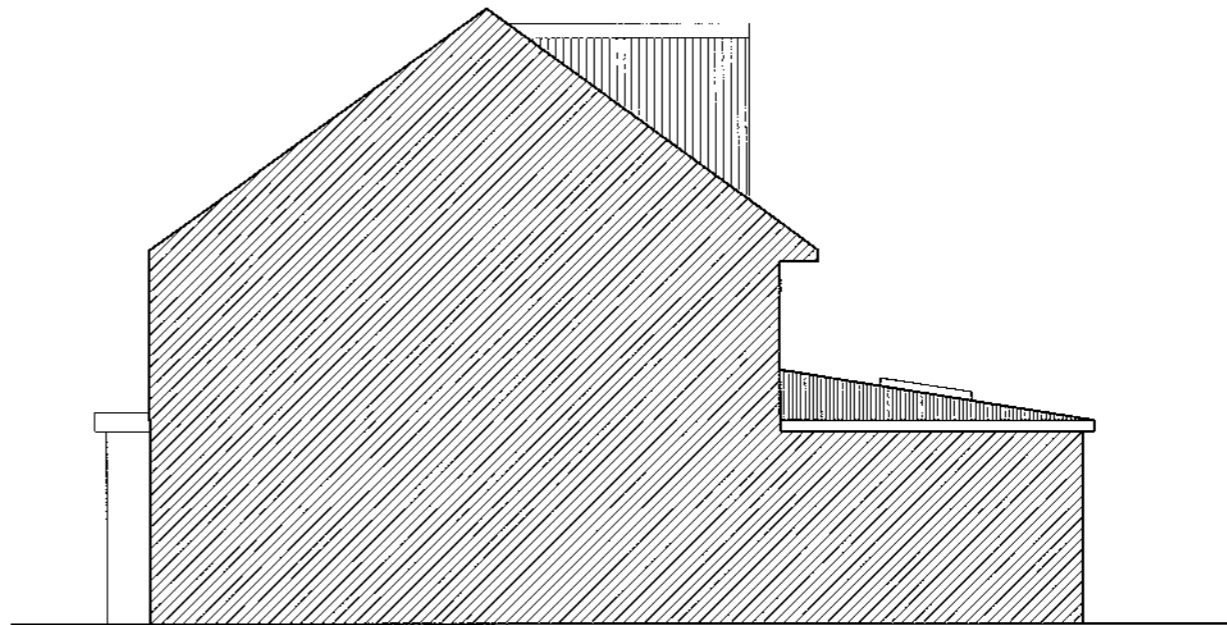
PROPOSED FRONT ELEVATION



PROPOSED SIDE ELEVATION



PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION

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Date: JULY 2019

Project: 1 THE FAIRWAY

Client:

Description: PROPOSED ELEVATIONS	Job No:	Scale: 1:100
	Dwg No: 202 R1	Drawn By: KG



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LOCAL MEMBER OBJECTION

COMMITTEE DATE: 16/10/2019

APPLICATION No. **19/01749/MNR**

DATE RECEIVED: 14/06/2019

ED: **CATHAYS**

APP: TYPE: Full Planning Permission

APPLICANT: Mr Illyas

LOCATION: 20 May Street, Cathays, Cardiff

PROPOSAL: GROUND & FIRST FLOOR REAR EXTENSION, REAR DORMER
AND CONVERSION TO 6BED C4 HOUSE IN MULTIPLE
OCCUPATION

RECOMMENDATION: That planning permission be **REFUSED** for the following reasons:

- 1 The use of the property as a C4 House in Multiple Occupation will further exacerbate the unacceptable cumulative adverse impacts on the amenities of the area by virtue of:
 - a higher number of transient residents leading towards less community cohesion and undermining the objectives of securing a sustainable mixed use community, contrary to Policy KP5 (Good Quality and Sustainable Design) and H5 (Sub-Division or Conversion of Residential Properties of the Cardiff Local Development Plan (2006-2016) and advice contained within the Houses in Multiple Occupation Supplementary Planning Guidance (2016).
 - a higher portion of transient residents leading to an increase of cumulative demand on social, community and physical infrastructure, contrary to Policy KP5 (Good Quality and Sustainable Design) and H5 (Sub-Division or Conversion of Residential Properties of the Cardiff Local Development Plan (2006-2016) and advice contained within the Houses in Multiple Occupation Supplementary Planning Guidance (2016).
- 2 The use of the property as a C4 House in Multiple Occupation will further exacerbate the negative impacts caused by Houses in Multiple Occupation in respect of crime and anti-social behaviour, contrary to Policies H5 (Sub-Division or Conversion of Residential Properties) and C3 (Community Safety/Creating Safe Environments) of the Cardiff Local Development Plan (2006-2016) and advice contained within the Houses in Multiple Occupation Supplementary Planning Guidance (2016).

- 3 The proposal fails to demonstrate that the two storey extension would not have an overbearing impact causing loss of light to neighbouring properties contrary to Policies KP5 and H5 of the Cardiff Local Development Plan (2006-2016) and advice contained within the Householder Extensions and Alterations SPG (2017).

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 The application seeks planning permission to change the use of a two storey terraced dwelling to a house in multiple occupation (class C4) and erect single storey, first floor and rear dormer extensions.
- 1.2 An approximately 3m long x 3.1m wide two storey extension is proposed with a mono-pitched roof 5m high at eaves and 7m to ridge, finished in render.
- 1.3 A 3m long 1.7m wide single storey extension is proposed alongside the existing two storey annexe with a lean-to roof 2.5m high at eaves and 3.5m at maximum height, finished in render with a tiled roof.
- 1.4 A flat roofed dormer would project from the main roof by up to 3m at a width of 4.7m and height of 2.1m, finished in hanging slates to match the existing roof.
- 1.5 Internally the use would accommodate a lounge/kitchen area and a bedroom at ground floor, three bedrooms and a bathroom at first floor and two bedrooms at second floor.
- 1.6 The application originally proposed an internal bin store adjacent to the front door and a longer ground floor infill extension, however, the application has been amended in these regards.

2. **DESCRIPTION OF SITE**

- 2.1 The site comprises a two storey terraced dwelling falling within use class C3.

3. **SITE HISTORY**

- 3.1 None

3.2 Related History:

17/00785/DCH - planning permission granted and implemented for first floor and single storey rear extension at no. 18 May Street.

17/02043/DCH - planning permission granted and implemented for single storey rear & first floor rear extensions at no. 22 May Street.

4. **POLICY FRAMEWORK**

- 4.1 Relevant National Planning Guidance:

4.2 Relevant Cardiff Local Development Plan (2006-2026) policies:

Policy KP5: Good Quality and Sustainable Design
Policy KP8: Sustainable Transport
Policy KP13 Responding to Evidenced Social Needs
Policy H5: Subdivision or Conversion of Residential Property
Policy EN13: Air, Noise, Light Pollution and Contaminated Land
Policy T1: Walking and Cycling
Policy T5: Managing Transport Impacts
Policy T6: Impact on Transport Networks and Services
Policy C3: Community Safety/Creating Safe Environments

4.3 Relevant Supplementary Planning Guidance

Residential Extensions & Alterations (2017).
Managing Transportation Impacts (Incorporating Parking Standards) (2018)
Houses In Multiple Occupation (2016)
Waste Collection and Storage Facilities (2016).

5. **INTERNAL CONSULTEE RESPONSES**

5.1 Transportation – The cycle facility looks acceptable with the usual caveat regarding retention in perpetuity.

5.1 Waste Management – The proposed external area for the storage of waste and recycling has been noted and is acceptable. The property will require the following for recycling and waste collections: Bespoke bags equivalent to 240 litres for general waste; 1 x 25 litre kerbside caddy for food waste. (An additional food caddy can be provided if needed); Green bags for mixed recycling (equivalent to 240 litres).

6. **EXTERNAL CONSULTEE RESPONSES**

6.1 None.

7. **REPRESENTATIONS**

7.1 The owner/occupiers of neighbouring properties have been consulted, no representations were received.

7.2 Cllrs Merry, Weaver & Mackie objected to the original application as follows:

We are opposed to this application as there are a number of grounds on which it fails to meet our expected standards of accommodation, is inconsistent with SPG's and planning policy.

First, it contradicts our SPG on HMO's in relation to HMO density. This appears to be a conversion of a C3 property to a HMO (we are not aware of any license, which has been compulsory for all HMO's in Cathays since 2010), which over a threshold of 20% within a set radius is deemed automatic for refusal. It would contribute to the loss of C3 homes in the area, and would add to the noise, waste, parking and population density problems experienced when HMO concentration is too high. This evidence base has been established in the creation of our SPG, and based on evidence from Welsh Government of the consequences of overconcentration of HMO's. It should be rejected on these grounds.

Second, we believe the extent of the proposed extensions would be overbearing and overdevelopment. The first floor extension would be overbearing. The ground floor extension is excessive compared to the overall size of the plot. The Residential Extensions and Alterations SPG point 7.26 covers issues of overlooking. It states: "In the case of extensions above single storey, a distance of 10.5m between the rear wall of a property and its rear boundary, and 21m between the rear habitable room windows of dwellings which directly back on to each other, is normally required to avoid overlooking and to protect neighbouring amenity"

There appears to be less than 10.5 m to the rear boundary from the proposed first floor extension, and therefore should be rejected. We do not have information given on the plans to illustrate whether the 21m distance is observed, but this is a clear possible breach if the first floor extension is less than 10.5m from the boundary wall and we believe evidence should be provided before considering whether it's acceptable in that regard either.

We also believe the first and ground floor extension would create a tunneling effect for the neighbouring property, and believe it could breach the 45 degree rule set out in the Residential Design Guide, leading to an unacceptable loss of light to their rear downstairs window. No evidence is given on this application to counter that – we believe evidence should be sought as it appears likely.

Third, we believe there would be insufficient rear amenity space, below the absolute minimum required (and necessary for a decent standard of accommodation). The requirement for this HMO would be 25m squared necessary as a minimum, not counting the area given for cycle storage. Once the cycle storage is accounted for it appears below this minimum level (with the side return) at 23.64m, and although this is close to the 25m square, it is below, and added to its failure on other grounds we believe should be noted as an additional grounds for refusal. This is also without sufficient waste storage being provided at the rear, which should also be provided for, but would clearly reduce the rear amenity space far below an acceptable level.

Our SPG is clear that the 25 square metres is a bare minimum not an aspiration – we do not believe that the amenity space meets this minimum even including awkwardly shaped areas (like the side of the cycle store and side return) and we would dispute that areas like this can really be viewed as

useful amenity space. As a local authority we have recently declared a climate emergency and we must take a robust stance when safeguarding the amenity space of these developments. We would point out that according to ONS statistics this is both one of the most densely occupied areas in Wales and that this street is one of the least green. It has been calculated to be 1% green when the Cardiff average is 13% - May Street is the 3,072nd greenest street out of 3,219 in Cardiff. To continue to build out over amenity spaces, reducing opportunity for green space at the rear of properties, and adding to the issues of waste and noise due to overdevelopment is not sustainable development.

Fourth, and disgustingly, the application appears to propose an indoor waste store by the front door. This is contrary to our SPG, which makes clear we will not allow waste storage inside a dwelling, and is absolutely unacceptable. On health grounds as well as planning ones, we'd expect this planning authority to reject a proposal like this. It is clearly not even close to the size of waste storage needed for a 6-bed HMO and for the four waste streams required under our SPG, which have to be able to be stored for a 14 day period, but regardless indoor storage of waste is not acceptable. It is potentially a fire hazard, by the front door. It is a health risk, and inevitably will lead to waste problems at the front and/or rear of the property. Point 4.3 of the Waste Collections SPG spells this out explicitly: "All residential developments are required to provide adequate storage for 4 dedicated waste streams; recycling, garden, food and residual waste. Provision must be made for the total volume of all waste streams produced over a 14 day period. This storage must be separate from the dwelling it serves. It is not acceptable for waste to be stored for a long period of time within the dwelling."

We will note here that we are aware of frequently getting no comment/no objection from Waste Management (a statutory consultee) in relation to waste storage facilities on planning applications. We want to be absolutely clear regardless of their comment on this application: our lawful SPG is clearly the guidance issued by this planning authority, related to policy under our LDP, and the bare minimum we expect to provide decent accommodation to citizens.

For all these reasons, we believe this is a clear case of an application that falls unacceptably below the minimum for a decent standard of accommodation. It's design is contrary to a number of SPG's and LDP policies, and should be rejected on multiple grounds. The proposal of indoor waste storage, despite the explicit nature of the Waste SPG that has been in place illustrates that the applicant has not sought to try and comply with this planning authorities basic guidance or policies. It would create a dismal and hazardous environment for any future occupants and neighbours. We believe this should be rejected.

If planning officers and Chair of planning were minded to consider approval of this application – though we cannot see on what grounds the planning authority could consider the application to have mitigated against its breaches of guidance and policy – we request that given the breaches of policies that

are critical to the amenity of occupants and neighbours, this application should go before Planning Committee. However, we expect it will be refused under delegated powers on the basis of its obvious incompatibility with policy.

Having checked the scale of the building to the rear of the property, the failure to observe the minimum distance to the rear boundary of the property becomes even more concerning. The proposal would represent significant overdevelopment of the plot, with a really unpleasant town cramming effect created, and potentially unacceptable impact in terms of light, and definitely in outlook. We do not believe appropriate privacy and amenity of the occupants can be secured if this development goes ahead on this basis – alongside all the points made.

Local Members were notified of the revised drawings, no additional comments were received.

8. **ANALYSIS**

8.1 **Introduction**

In respect of the conversion of the properties to a C4 HMO, Policy H5 of the adopted LDP is considered relevant. Further guidance can also be found in the adopted HMO SPG. 8.4 Policy H5 of the LDP is considered to be a prescriptive policy whereby as long as the relevant criteria is met there is unlikely to be any objection to such proposals. It advises that “*Proposals for any conversion to flats or Houses in Multiple Occupation will be permitted where:*

- i. The property is of a size whereby the layout, room sizes, range of facilities and external amenity space of the resulting property would ensure an adequate standard of residential amenity for future occupiers.*
- ii. There would be no material harm to the amenity of existing, nearby residents by virtue of general disturbance, noise or overlooking.*
- iii. The cumulative impact of such conversions will not adversely affect the amenity and/or the character of the area.*
- iv. Does not have an adverse effect on local parking provision.”*

The approved Supplementary Planning Guidance on HMO’s further expands on this Policy and aims to provide background information on, and provide a rationale for how the Council will assess applications for planning permission to create new C4 and Sui Generis HMOs. It aims to identify the threshold at which it is deemed that the concentration of HMOs in an area has reached a level considered to adversely impact upon the community. It is recognised that HMOs can provide an important source of housing and it is recognised that demographic change has driven many of the changes that have seen traditional family homes become HMOs. HMOs are a popular accommodation source for many groups, including students, young professionals, migrant workers and often people on lower incomes. However, concentrations of HMOs clustered in small geographical areas can detract from the character of

the area and actively contribute towards a number of perceived problems, including, but not limited to:

- Increased population density, leading to greater demand for infrastructure, such as waste collections and on-street parking.
- Higher proportion of transient residents, potentially leading to less community cohesion, undermining existing community facilities
- Areas of higher HMO concentrations becoming less popular with local residents, with many properties taken out of the owner-occupier market.
- A proliferation of properties vacant at certain points of the year
- Subsequent impact on crime, local centre viability, as a result of the number of properties temporarily vacant for long periods.

It is considered that this may conflict with policy KP13 of the LDP which aims to improve the quality of life for all. Having identified some of the issues caused by HMOs the Council considered it was necessary to determine a threshold at which new HMOs may cause harm to a local area. This threshold will resist further HMOs in communities that already have a concentration above this limit, while also controlling the growth of HMOs in communities below this threshold. A two-tier threshold will therefore be applied to determine when an area has reached the point at which further HMOs would cause harm. In Cathays and Plasnewydd the figure of 20% is to be applied and in all other wards, the figure of 10% is to be applied. This means that within Cathays or Plasnewydd, if more than 20% of the dwellings within a 50m radius of the proposed HMO are already established HMOs (i.e. either C4 or sui generis in Planning terms) then this development would be considered unacceptable. In other wards the figure would be 10%. Having regard to the “cumulative impact” of such conversions in respect of this application, an analysis has been made on the extent of HMO’s (including those defined as such under Sections 254 to 259 of the Housing Act 2004 and those covered under the Additional Licensing Scheme which operates within the Cathays and Plasnewydd Wards of Cardiff) against the threshold limits identified above. As the application site is located within the Cathays Ward of Cardiff a 20% threshold limit will be relevant and having undertaken such checks within 50m of the application site it was found that 52% of properties within 50m of the application site were registered HMO’s. This is above the 20% limit which would trigger the active consideration of negative cumulative impact consequences.

8.2 Impact Upon the Character of the Area

It is considered that the proposed extensions are acceptable in regards to their scale and design and will provide subservient additions to the building which will not prejudice the general character of the area. The proposal is considered compliant with Policy KP5 (i) of the Local Development Plan and paragraph 7.2 of the Residential Extensions & Alterations SPG.

The scale of the two storey extension would be suitably subservient, of similar scale to the existing two storey rear annexe structures in this terrace and would have a shorter projection into the rear garden than the adjoining longer

two storey rear extension at no. 22 May Street.

The rear dormer roof extension is considered an acceptable addition to the property as it would be set back from the rear elevation (eaves) and finished in materials to match the existing building in accordance with the Residential Extensions & Alterations SPG. Whilst the structure will occupy much of the available roof slope it should be noted that the structure could be constructed without the formal permission of the Council under Class B of Part 1 in Schedule 2 of the Town and Country Planning (General Permitted Development) (Amendment) (Wales) Order 2013.

It is considered that the scale of the single storey extension would not be an overly dominant feature and be of an appropriate scale in proportion to the overall site, of similar scale to the existing single storey structures in this terrace including the single storey extensions approved within close proximity to this property.

8.3 Impact Upon Neighbouring Amenity

It is considered that the proposal would be overbearing and generally un-neighbourly upon the occupants of neighbouring properties, principally those residing at 18 May Street and fails to accord with the principles of Policy KP5 (x) of the Local Development Plan and section 7 of the Residential Extensions & Alterations SPG.

As detailed at sec. 7.37 of the SPG it is necessary for an assessment to be undertaken to ensure that reasonable light to relevant windows of neighbouring properties is sufficient. The existing property impedes marginally on the 45 degree lines in the vertical and horizontal contrary to this guidance and the proposed extensions would increase further the obstruction in the horizontal plane. As required by the SPG the application does not provide any further justification that such impact is acceptable.

It is noted that the first floor rear facing window would be sited 5.1m from the boundary with the adjoining building at the rear which is less than the minimum of 10.5m specified by the Residential Extensions & Alterations SPG. However, having regard that the building to the rear is not in residential use and has obscure glazed windows in the south west elevation as they directly face into the rear garden of the application site, it is not considered that the proposed separation distance would be unreasonable in this instance.

It is not considered that the single storey infill extension should have any unreasonable impact upon no. 18. In any case, the single storey infill extension would constitute development permitted under Class A of Part 1 in Schedule 2 of the Town and Country Planning (General Permitted Development) (Amendment) (Wales) Order 2013.

8.4 Living Conditions of Future Occupiers

The Cardiff HMO Licensing Fire & Safety Standards (updated in 2014) sets standards in terms of amenity, space standards and facilities which must be adhered to in order to obtain a License from the Council. From a planning perspective, paragraph 6.1.1 of the adopted HMO SPG identifies that this would be the minimum that would be expected to be achieved for all applications for both C4 HMO's and larger sui generis HMO's. Having had regard to this criteria the submitted plans indicate that these standards would be met.

8.5 Amenity Space

Paragraph 6.3.2 of the SPG states "*The City of Cardiff Council has typically used the figure of 25m² as the minimum expected external useable amenity space for C3 dwellings, i.e. for those dwellings up to 6 persons. This level should also apply to C4 properties. Each additional person would be expected to have 2.5m². As such, for example, the minimum expected for a 7 bed HMO would be 27.5m² of external amenity space. Each additional person should result in a corresponding increase of 2.5m². Useable amenity space is considered to be at least 1.4m wide, enabling storage and access.*"

An external amenity area of circa 25 square metres would be provided at the rear (excluding the cycle store), which accords with the principles of the relevant SPG.

8.6 Waste Management

Policy W2 of the Cardiff Local Development Plan seeks to ensure that adequate provision is made for waste management facilities within new developments, in order to aid the Council in meeting the challenging waste recycling targets set by European and National targets. Facilities provided should be secure, unobtrusive and easily assessable. The adopted Waste Collection and Storage Facilities SPG supplements policies adopted in the LDP relating to the provision of waste management facilities in new development. As this application seeks the change of use of the property to a C4 HMO (6 occupants) then there will be no change in waste allocation requirements as an existing C3 residential property.

The proposed external area for the storage of waste and recycling is acceptable. The proposed internal storage of waste has been removed from the scheme as a result of amended plans.

8.7 Transport Impact and Sustainable Transport

The Managing Transportation Impacts (Incorporating Parking Standards) SPG identifies a minimum requirement of zero car parking spaces and cycle parking at a ratio of 1 space per bedroom. The proposal is therefore considered to be car parking policy compliant with no off street parking spaces being provided.

Details of satisfactory secure and sheltered cycle storage, to promote and encourage this sustainable mode of transport, is proposed at the ratio required within the Transportation Impacts SPG.

8.8 Other Matters

The representation received from Cllrs Merry, Weaver & Mackie is noted. The issues raised are considered below within the context of the guidance as set out in the Houses in Multiple Occupation and Residential Extensions & Alterations SPGs. Specific issues are addresses as follows:

- a) HMO Density - see sec. 8.2. The application is recommended for refusal for this reason.
- b) Overdevelopment - In this respect the proposal is considered acceptable in principle the size of the proposals relative to the existing context is appropriate see para. 8.2.
- c) Overbearing Impact of Extensions - see sec. 8.3. The application is recommended for refusal for this reason.
- d) Amenity space – see sec. 8.5
- e) Waste Storage – see. sec. 8.6

8.9 Other Legal Considerations

Crime and Disorder Act 1998 – Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

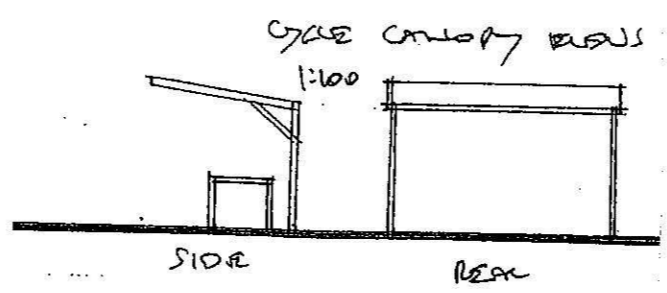
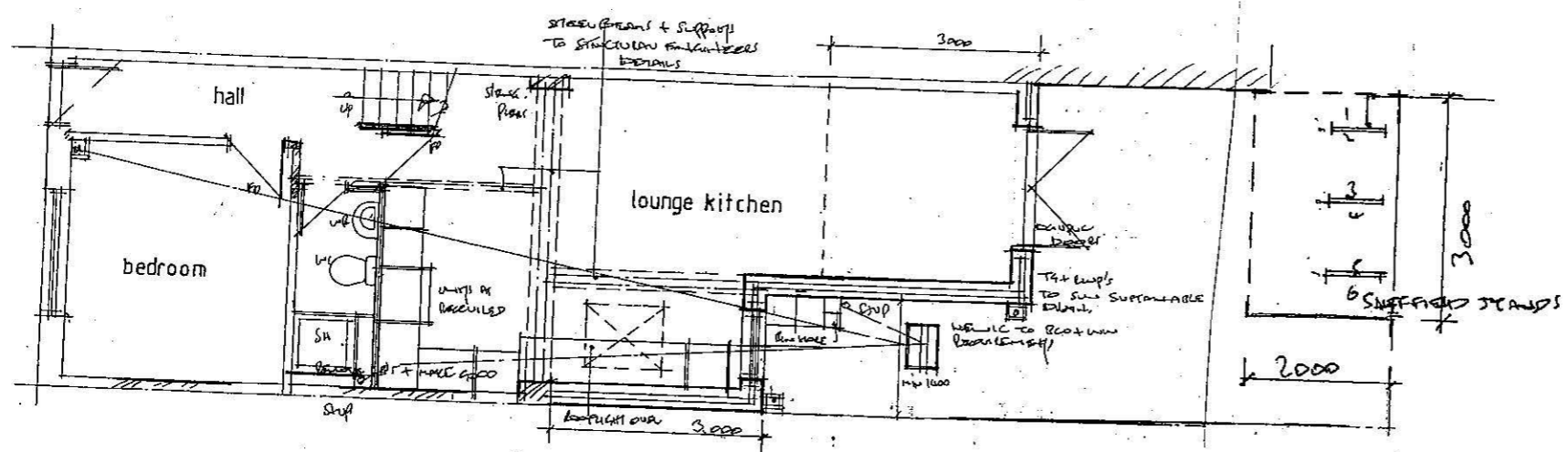
Equality Act 2010 – The Equality Act 2010 identifies a number of ‘protected characteristics’, namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council’s duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.

Well-Being of Future Generations Act 2016 – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.

8.10 Conclusion

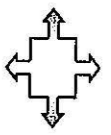
It is concluded that the application is contrary to the planning policies listed, and is recommended that planning permission be refused.





SITE PLAN PROPOSED 1:100 at A3

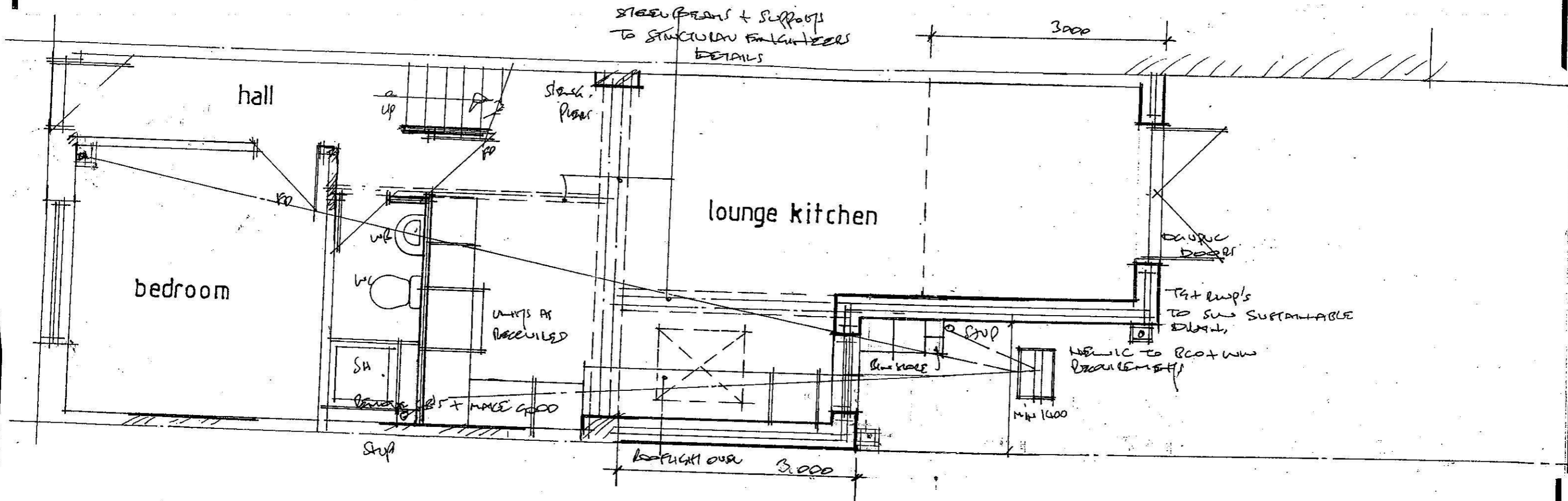
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 CARDIFF CF11 9HA
 TEL 029 2035 0365



REVISIONS	DATE	REVISIONS	DATE

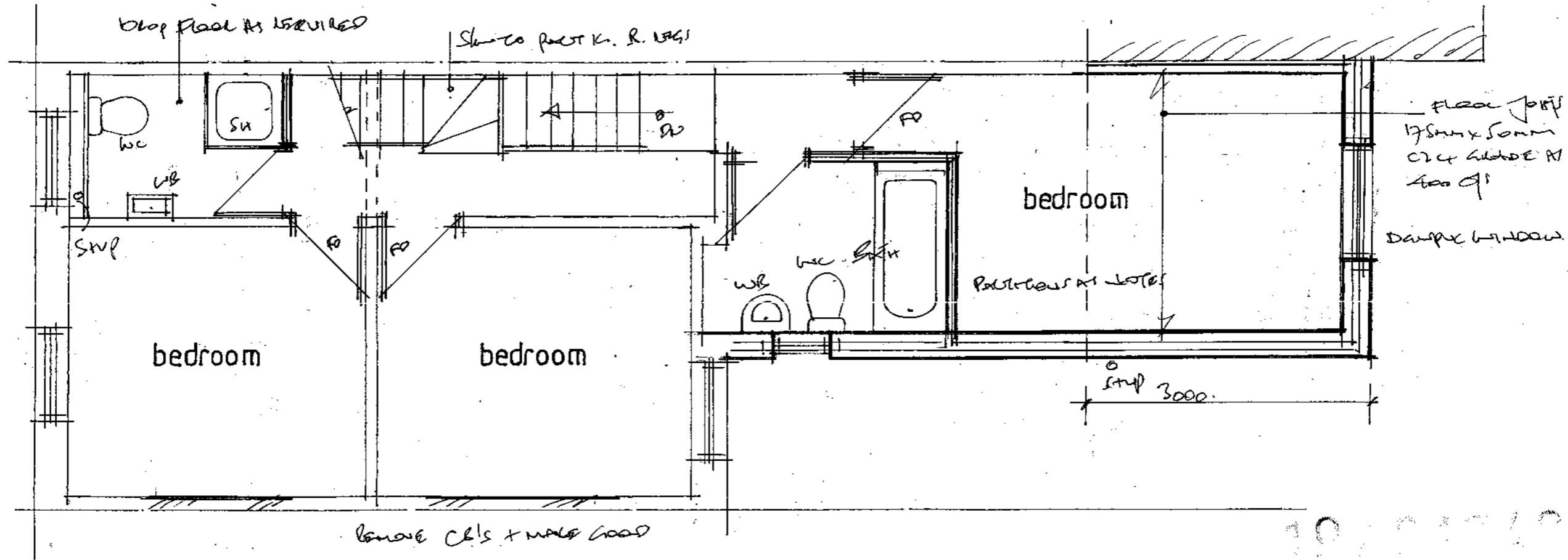
DEVELOPMENT AT
20 MAY STREET
CARDIFF

DATE MAY 2019 PLAN NO. CEX2/8



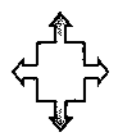
GROUND FLOOR PROPOSED 1:50 at A3

DTB DESIGN TEMPLE COURT 13a CATHEDRAL ROAD CARDIFF CF11 9HA TEL 029 2035 0365																			
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DEVELOPMENT AT 20 MAY STREET CARDIFF																			
DATE MAY 2019		PLAN NO. CEX2/3																	



10/01/19

DTB DESIGN
 TEMPLE COURT 13a CATHEDRAL ROAD
 CARDIFF CF11 9HA
 TEL 029 2035 0385

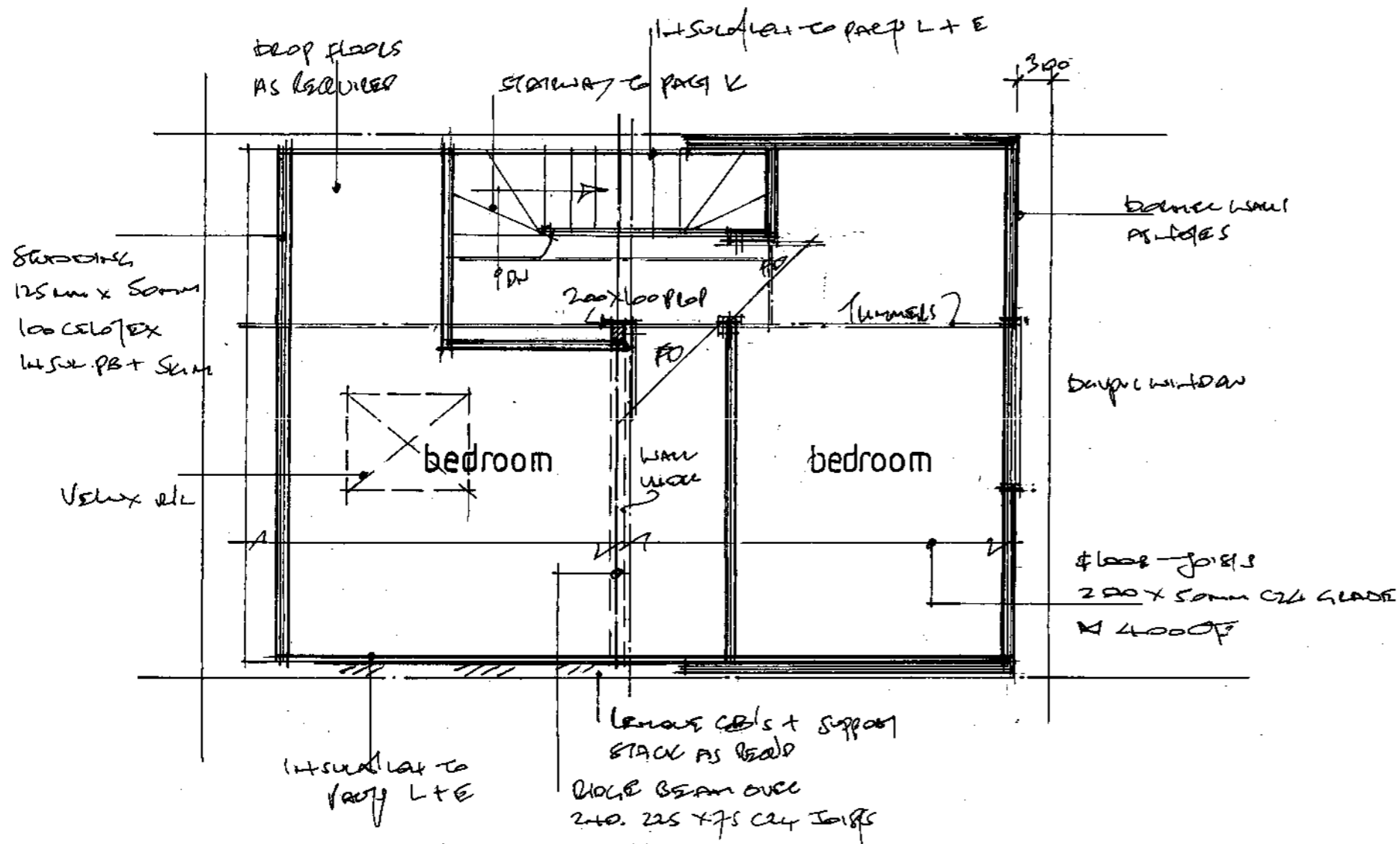


REVISIONS	DATE	REVISIONS	DATE

DEVELOPMENT AT
20 MAY STREET
CARDIFF

DATE MAY 2019 PLAN NO. CEX2/4

FIRST FLOOR PROPOSED 1:50 at A3



DTB DESIGN
 TEMPLE COURT 13a CATHEDRAL ROAD
 CARDIFF CF11 9HA
 TEL 029 2035 0365

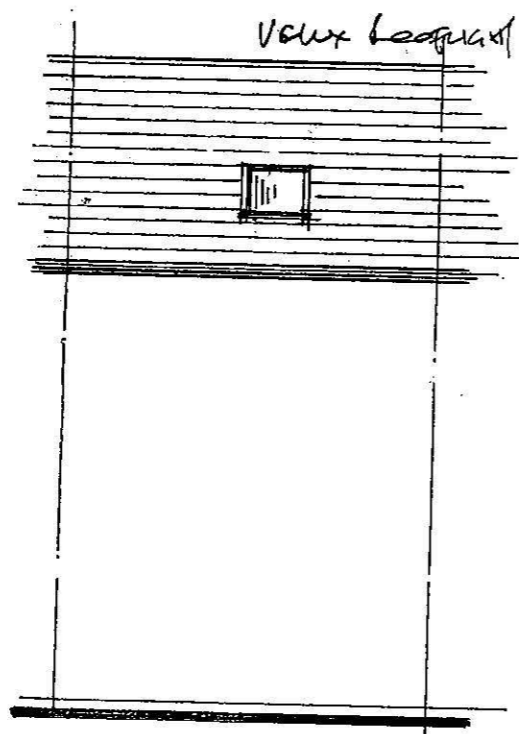
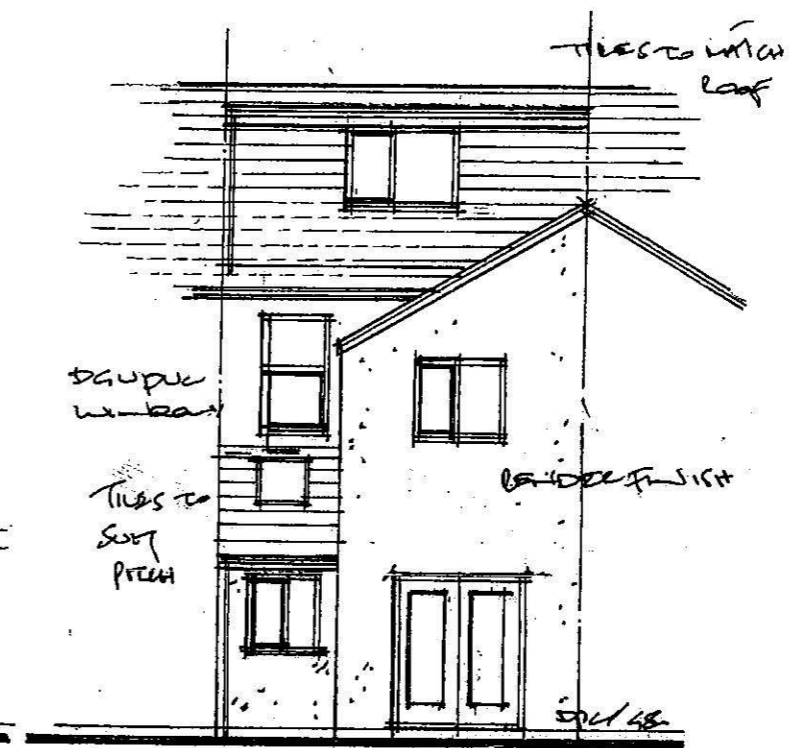
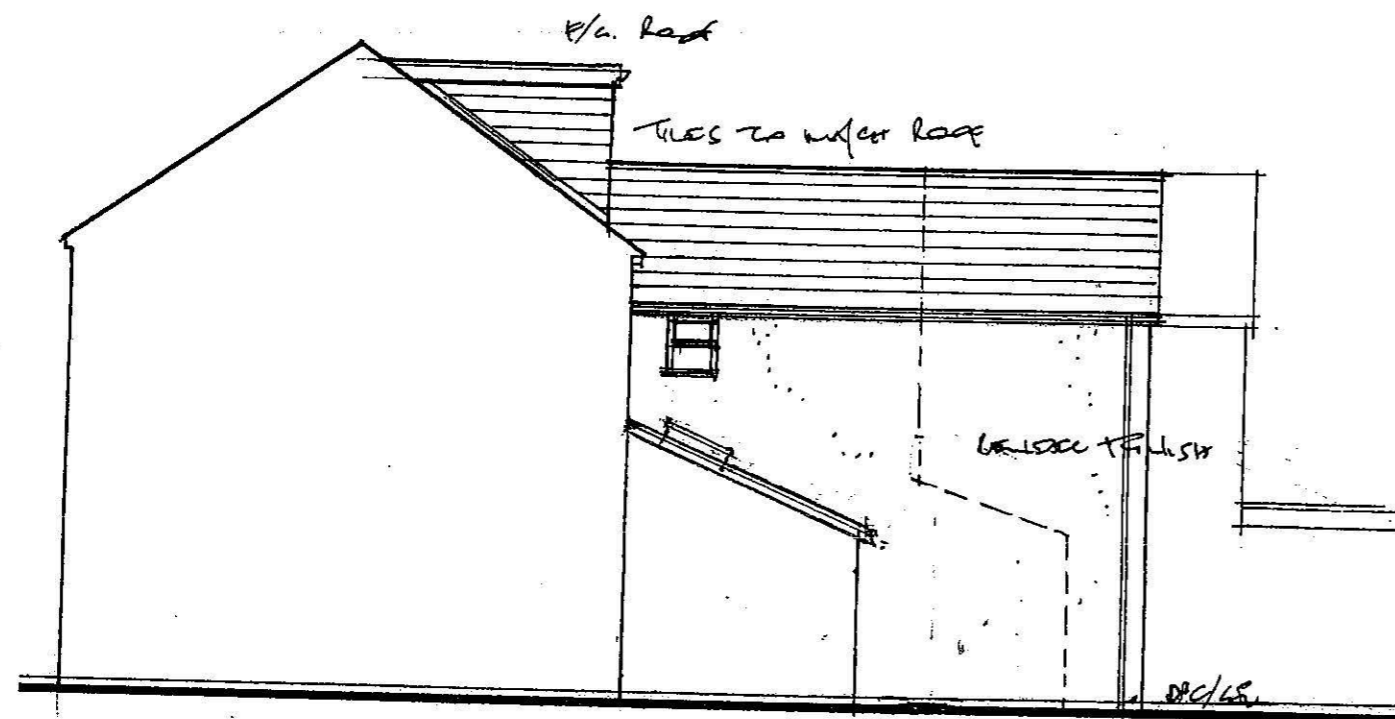


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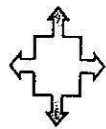
DEVELOPMENT AT
20 MAY STREET
CARDIFF

DATE MAY 2019 PLAN NO. CEX2/5

SECOND FLOOR PROPOSED 1:50 at A3



DTB DESIGN
 TEMPLE COURT 13a CATHEDRAL ROAD
 CARDIFF CF11 9HA
 TEL 029 2035 0365



REVISIONS	DATE	REVISIONS	DATE
T1 1500/1 @	9/19		

DEVELOPMENT AT
20 MAY STREET
CARDIFF

DATE MAY 2019 PLAN NO. CEX2/6/r

FRONT, REAR & SIDE ELEVATIONS PROPOSED 1:100 at A3

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PETITION

COMMITTEE DATE:

APPLICATION No. **19/01752/MNR** APPLICATION DATE: 17/06/2019

ED: **PENTYRCH**

APP: TYPE: Full Planning Permission

APPLICANT: Mr Spragg
LOCATION: TY NEWYDD, HEOL GOCH, PENTYRCH, CARDIFF, CF15
9NA

PROPOSAL: ERECTION OF STABLE BLOCK INCORPORATING TACK
ROOM AND WASH ROOM TO SUPPORT ADJOINING
PADDOCK / DONKEY SANCTUARY

RECOMMENDATION: That planning permission be **REFUSED** for the following reasons :

1. The application site lies outside defined settlement boundaries, where it is intended that new development be strictly controlled, and the proposed development by virtue of its scale, design, location and proposed use is inappropriate in this location as it is not required for the purposes of agriculture or forestry, or any other rural enterprise, contrary to policies KP3(B) and EN1 of the Cardiff Local Development Plan 2006 – 2026.
2. The proposal would prejudice the open nature of the land and would cause unacceptable harm to the Garth Hill and Pentyrch Ridges Special Landscape Area and would fail to fulfil and of the criteria for justification of development within a green wedge that are set out in paragraphs 3.71 to 3.74 of Planning Policy Wales contrary to Policies KP3(B) and EN1 of the Cardiff Local Development Plan 2006 – 2026.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 The description of the development is listed above. The scale, design and position of the development is illustrated on the submitted drawings.
- 1.2 The proposal is to build a substantial stable building measuring approximately 20m x 7m. The base is shown to be approximately 8.5m x 22.5m. The height of the proposed stables including the base is approximately 3.5m to the eaves and 5.5m in total. No indication has been given for the need for any associated yard / hardstanding area.

2. **DESCRIPTION OF SITE**

- 2.1 The application site forms part of a larger 3 hectare holding which runs alongside Heol Goch. The site for the proposed stables is located in a parcel

of land at the junction of Main Road and Heol Goch Gwaelod y Garth with two residential properties Ty Newydd and Cwmllydrew and a wooded area and Nant Cwmllydrew bounding the site. The application site is a parcel of land that has recently been cleared prior to the submission of the application.

2.2 The applicant has submitted a Design and Access Statement to support the application.

3. **SITE HISTORY**

Application No : 06/01799/W
Proposal : UPGRADE EXISTING VEHICULAR ACCESS ON MAIN ROAD, GWAELOD Y GARTH
Application Type: HSE
Decision : PER
Decision Date : 19/10/2006

Application No : 19/00227/MNR
Proposal : A CONCRETE SLAB WILL BE SUPPLIED TO SUPPORT A STEEL FRAMED AGRICULTURAL BUILDING SITED ON AGRICULTURAL LAND ADJACENT TO TYNEWYDD FARM HOUSE. SOAK AWAY DRAINAGE WILL BE IMPLEMENTED FOR RAINWATER ON PRIVATE LAND
Application Type: CLD
Decision : WDN
Decision Date : 11/03/2019

Application No : 19/01431/MNR
Proposal : STEEL FRAMED AGRICULTURAL BARN TO SUPPORT THE STORAGE AND SECURITY OF TOOLS AND MACHINERY USED TO MAINTAIN THE FARM AND LIVERY
Application Type: FUL
Decision : REF
Decision Date : 16/07/2019

4. **POLICY FRAMEWORK**

National Planning Policy

Planning Policy Wales (10th Edition) 2018
Technical Advice Note 6: Planning for Sustainable Rural Communities
Technical Advice Note 12: Design

Cardiff Local Development Plan 2006 – 2026

Policies of particular relevance include:

Policy KP3(A) : Green Wedge

Policy KP3(B): Settlement Boundaries
Policy KP5: Good Quality and Sustainable Design
Policy EN1: Countryside Protection
Policy EN3: Landscape Protection
Policy M7 : Limestone Protection Area

5. **INTERNAL CONSULTEE RESPONSES**

5.1 **Cardiff Tree Officer** - no adverse observations raised

5.2 **Cardiff Ecology Officer**

Assuming the footprint of the proposed development is limited to the red line boundary provided with this application, the site appears to be of low nature conservation value, as it has apparently been cleared and then left to re-grow as bramble and tall ruderal herbs, which is not a rare habitat in Cardiff. Therefore the small scale of the proposal combined with the low conservation concern of the immediate habitat does not in my view give justification to require a full ecological impact assessment to inform determination. However there are a number of potential impacts upon nature conservation interest which should be addressed.

Firstly, the proposed site is close to the Nant Cwmllydrew Site of Importance for Nature Conservation (SINC), which is designated for its stream and bankside habitats. I have noted the comments made by NRW and by our colleagues in Flood Risk Management in relation to this watercourse, and in my view if the measures they have proposed are implemented, then there should be no harm to the stream habitats. However, on a precautionary basis we should attach our usual SINC condition if any consent is granted.

Secondly, if the habitat develops further into scrub, then nesting birds may be present, so we should attach our nesting bird condition:-

Thirdly, the site is likely to support widespread reptile species, particularly Slow-worms and Grass Snakes. For such a small site the normal process of survey, followed by fencing the site and trapping and translocating any reptiles, would be unreasonable. Instead, sensitive clearance methods should be used to encourage the reptiles to disperse to retained habitats nearby, together with perhaps some habitat management measures. Therefore if consent were granted we should ask as a planning condition that a brief reptile mitigation strategy should be produced to avoid harm to reptiles, which receive partial protection under the Wildlife and Countryside Act.

Finally, we are under a duty to seek biodiversity enhancement in the exercise of our functions, so if the application were granted consent I would ask for a recommendation that one bat box and one bird box be incorporated into the new build.

5.3 **Operational Manager Waste** : Current site plans make no reference to the storage of waste and recycling. If the intention is to build the stables for the

owners own use i.e. not charge livery to occupants then the general waste created by the stables would be included in the normal domestic allocation which is currently used at Ty Newydd and the present waste bags/bin allocation would need to be used.

However, if the intention is to rent the stables as a business then a commercial waste contract would need to be set up in order to dispose of the general waste/recycling generated by the business.

5.4 **Operational Manager Transport** : No objections raised.

A number of objectors are concerned that access to the proposed building is opposite the bus stop on Main Road; however, as the applicant points out ingress/egress will be from Heol Goch and this would not impact upon the bus stop, therefore an objection on these grounds would be unsustainable.

There is no increase in off street parking and as the applicant points out, this site will not be open to the general public and if villagers wish to visit the site then they will have to make advance arrangements and travel by foot. Therefore there will not be an adverse effect of traffic movements to this site.

5.5 **Operational Manager Drainage/Flood Risk**

The applicant has provided insufficient or conflicting detail relating to either flood risk or surface water drainage proposals. Consequently it is difficult to assess the potential impact of the proposed development in respect of flood risk management matters. We would expect as a minimum a drainage strategy advising how they propose to dispose of the surface water from the site, I note that in the application form they wish to dispose of their surface water via soakaway however have not submitted any infiltration testing in accordance with BRE365.

The culvert inlet of which the Nant Cwmllydrew flows through on the boundary of the site is one of Cardiff Councils critical inlets. As the Local Lead Flood Authority the Flood and Coastal Risk Management Team has grave concerns over the flood risk to surrounding properties and infrastructure posed by the inlet.

6. **EXTERNAL CONSULTEE RESPONSES**

6.1 **Glamorgan Gwent Archaeological Trust**

Confirm that the proposal will require archaeological mitigation.

Information in the Historic Environment Record, curated by this Trust, shows that St. Peter's Mission Church was sited within the proposed application area, as depicted on the Third Edition Ordnance Survey map (dated 1920). The church however is not shown on the Fourth Edition Ordnance Survey map (dated 1943). A review of the historic mapping also shows features associated with the Pentyrch Ironworks and its associated minerals extraction and

transport system. It is therefore possible that archaeological remains may exist within the proposed application area.

The above application is for the erection of a stable block incorporating tack room and wash room to support adjoining paddock/donkey sanctuary. It is our opinion that whilst it is unlikely, due to previous disturbance, that archaeological features would be of significance to prevent any development, it is still possible for remains to be encountered. Consequently, the impact of the proposed development upon the archaeological resource will require mitigation.

6.2 Natural Resources Wales

Have no objection to the proposed development as submitted and refer to the following advice.

Site Drainage

The wastewater from stables could have potential to carry contamination, as can the run-off from damping down of hay. The applicant must make sure that these are not channelled into surface water drains or any watercourses. The applicant is advised to following the guidance within Guidance for Pollution Prevention Note 24: Stables, Kennels and Catteries

Construction

The construction work must be carried out in a manner that will minimise the risk of pollution. Construction at this site has the potential to lead to suspended solids entering nearby watercourses. No cement derived material can be discharged into any watercourse. If water comes into contact with wet concrete it must be treated as contaminated and not allowed to drain into any watercourse. Should any pollution or discolouration become apparent, work must stop and working practises be reviewed in consultation with us. The applicant is advised to follow the guidance within Guidance for Pollution Prevention Note 5: Works and maintenance in or near water.

6.3 Pentyrch Community Council (PCC)

PCC objects to this application. It is a further application for this site, this time for a stable block. PCC asks that the two be considered together since, together, this appears to be wholesale development of the site and should be treated as such.

As with the previous application (19/01431/MNR), this site is outside the Gwaelod y Garth Settlement Boundary, inside the Green Wedge and inside a Special Landscape Area and should therefore comply with TAN 6: Planning for Sustainable Rural Communities (2010).

Relevant points within TAN 6 and their impact on this application are:

- The proposal for keeping horses/donkey sanctuary is not an 'agricultural use'.

- There is no evidence provided of an existing, nor a proposed, agricultural business.
- No information is provided about any business proposal.
- The proposal will not provide nor support any local community support services.

In summary we see no evidence of 'need' for this proposal, which is required under the provisions of TAN 6. The application gives inadequate explanation of how the donkey sanctuary will run, whether as a business or not, and the number of vehicle trips it will generate daily. The application refers to an 'adjoining paddock' but its location is not clear.

The clearance of land on this site has every appearance of engineering ground works and was done by a large bulldozer-type machine. PCC would like assurance that the foundations of Heol Goch have not been compromised.

PCC requests a site visit so that Planning Officers and Committee Members can see the extent of the engineering works land clearance. PCC continues to be shocked that tree and hedgerow removal during the bird nesting season was allowable. The Wildlife and Countryside Act 1981 permits very few exceptions during the nesting season. PCC will ask Natural Resources Wales to investigate.

7. **REPRESENTATIONS**

7.1 Objections have been received from the occupiers of:

Llys yr Awel, Georgetown, Gwaelod y Garth
 5 Nant y Garth, Gwaelod y Garth
 6 Nant y Garth, Gwaelod y Garth
 Lorien Cottage, 6 Georgetown, Gwaelod y Garth
 Primrose Cottage, Georgetown, Gwaelod y Garth
 3 Garth Villas, Main Road, Gwaelod y Garth
 32 Heol y Nant, Gwaelod y Garth
 59 Heol Berry, Gwaelod y Garth
 Tiwsfan, Main Road, Gwaelod y Garth
 Ty'n y Coed, Georgetown, Gwaelod y Garth
 Wood Cottage, Georgetown, Gwaelod y Garth

A number of concerns raised relate to the previously determined application 19/01431/MNR and are therefore not repeated again here.

Issues raised are summarised as follows:

- Consider residents have not been properly notified or updated
- Site is within the Green Wedge and Special Landscape Area
- Consider that a donkey sanctuary should be in the heart of the countryside and not within approx. 50m of residential properties due to issues with noise and smell
- Ty Newydd is not a farm and has never been used as a farm.

- Application 19/01431/MNR and 19/01752/MNR should have been considered together
- Scale of the proposed stables is excessive
- Question whether an ecological survey has been undertaken
- Concern that ground movements were undertaken during nesting season
- Could attract a considerable amount of flies and other insects.
- Nant Cwmllydrew is a sink, concern re the stream and potential for pollution and flooding
- Question what will happen with foul waste
- The land was not derelict it did have large mature trees but were illegally cleared
- A large earth moving machine working for several days was excessive. Consider there to be evidence of significant earth movements
- Concern re increase in traffic
- Consider a donkey sanctuary would attract a lot of visitors this together with the proposed 2 full time equivalent employees concern where they will park
- Glamorgan Gwent Archaeological Trust stated that a qualified archaeologist should have a watching brief for any future land movement
- It is the main entrance to the village
- Concern that this is an environmentally sensitive area
- Lack of information on proposals for Ty Newydd
- There are many residences that actually adjoin the site or directly face it
- Question whether this would pave the way for more development in the green wedge/ concerned of the possible future residential development, as change of use
- Location is dangerous entry/exit points already hazardous
- Question whether the site can accommodate the number of donkeys/a donkey sanctuary
- Site should be returned to its original condition
- Concern that access is close to the bus stop which could be dangerous

7.2 A petition against the proposal has been signed with 57 signatures and submitted.

Issues raised in the petition:

- Consider that residents have not been informed about planning that will have an impact on the village.
- Petitioners express their concern for the applications at Ty Newydd and request that Cardiff Council discuss both applications as one in full planning committee that a representative can speak.

The applicant has responded to the objections raised and are summarised as follows:

- Proposal is to house 2 donkeys – not a tourist attraction/not open to the public and not run as a business
- Access to the stables from Ty Newydd. If there was a volunteer parking would be at Ty Newydd. If residents wished to visit this would be prior arrangement and access on foot via the pedestrian gate on Main Road

- Applicant states that Ty Newydd is a smallholding of approximately 10 hectares. Originally there was a number of outbuildings including multiple garages and a barn which was subsequently converted into Cwmllydrew
- Consider that the site has been derelict for a number of years. St Peters Mission Church occupied the site approximately until the 1940s. Consider that there was never a woodland it was just overgrown derelict land;
- With regard to ground movement the applicant states that works carried out in May 2015 prior to the submission of the application were to clear the regrowth on the land since it was last cleared in 2005
- There is no public right of way
- Consider the house to be a permanent residence
- Stables to be constructed of timber
- Archaeological Surveys not required

8. **ANALYSIS**

- 8.1 The application site lies outside the settlement boundary, within the Green Wedge and the Garth Hill and Pentyrch Ridge Special Landscape Area as defined on the Proposals Map of the adopted Cardiff Local Development Plan.
- 8.2 It is considered that the main considerations in the assessment of this application are whether the proposal for a stables can be justified in this location and the impact of the proposal on the character and appearance of the area and in particular on the green wedge.
- 8.3 Consideration has been given to local and national policies as referenced above, in particular KP3(A) which seeks to protect the Green Wedge from inappropriate development which would prejudice the open nature of the land. Specific guidance on the consideration of planning applications within the Green Wedge is set out in PPW paragraphs 3.69 – 3.74.
- 8.4 Paragraph 3.69 of PPW states that ‘When considering applications for planning permission in Green Belts or Wedges, a presumption against inappropriate development will apply. Substantial weight should be attached to any harmful impact which a development would have on the purpose of the Green Belt or Green Wedge designation.
- 8.5 Paragraph 3.70 (PPW) states that inappropriate development should not be granted planning permission except in very exceptional circumstances where other considerations clearly outweigh the harm which such development would do to the Green Belt or Green Wedge.
- 8.6 Paragraph 3.71 sets out the purposes whereby new buildings in the Green Wedge would not be considered inappropriate.
- 8.7 The construction of new buildings in a Green Belt or Green Wedge is inappropriate unless it is for the following purposes:
- justified rural enterprise needs;
 - essential facilities for outdoor sport and outdoor recreation, cemeteries, and other uses of land which maintain the openness of the Green Belt or

Green Wedge and which do not conflict with the purpose of including land within it;

- limited extension, alteration or replacement of existing dwellings;
- limited infilling (in those settlements and other development sites which have been identified for limited infilling in the development plan) and affordable housing for local needs under development plan policies; or
- small scale diversification within farm complexes where this is run as part of the farm business.

8.8 Paragraph 3.74 – Other forms of development would be inappropriate development unless they maintain the openness of the Green Belt or Green Wedge and do not conflict with the purposes of the designation.

8.9 Policy KP3 (B) and Policy EN1 seek to ensure that development in the countryside outside the defined settlement boundaries will not normally be permitted unless it is justified for agricultural or forestry purposes or other rural enterprises. Proposals should demonstrate that the use is appropriate in the countryside, respects the landscape character and quality and biodiversity of the site and surrounding area and where it is appropriate in scale and design.

8.10 Policy EN3 aims to ensure that features of the landscape that contribute to its character, value, distinctiveness, sense of place and quality, are protected from inappropriate development. Particular priority is given to Special Landscape Areas (SLAs).

8.11 In terms of impact on the landscape proposals should demonstrate that no unacceptable harm is caused to the character and quality of the landscape and setting of the city. Paragraph 5.85 of the LDP sets out the criteria on which unacceptable harm to the landscape value of an area is assessed and these criteria are listed below:-

- The impact of the proposed development on key features of the landscape in terms of physical character, vegetation, habitats, land use and settlement patterns, visual character, historical character and cultural associations;
- The need for the proposed development in relation to its impact
- Availability of alternative locations; and
- The ability to provide appropriate mitigation measures.

8.12 There will be a presumption against urban expansion or other development within SLAs that would cause unacceptable harm to the character and quality of the SLA.

8.13 Paragraph 5.86 of the LDP states that where possible, development will be expected to maintain and strengthen positive attributes of the landscape and seek to mitigate or remove, rather than compound negative influence.

8.14 Policy EN3 includes giving particular priority to protecting the Special Landscape Areas from inappropriate development which have been designated to protect the overall landscape of the County, due to their visual, sensory, geological, cultural, and historical and habitat landscapes as set out in

paragraphs 5.90 – 5.92 of the LDP. Unacceptable harm is assessed in relation to:

- The impact of the proposed development on key features of the landscape in terms of physical character, vegetation and habitats, land use and settlement patterns, visual character, historical character and cultural associations;
- The need for the proposed development in relation to its impact;
- The availability of alternative locations; and
- The ability to provide appropriate mitigation measures.

8.15 Paragraph 5.72 of the adopted LDP states, *Planning permission is normally required for the use of land for the keeping of horses and for equestrian activities, unless they are kept as “livestock” or the land is used for “grazing”. The keeping of horses in Cardiff is widespread, so that land use for the grazing, recreation and associated development such as stabling, ménages, fencing, lighting and car parking is already having a considerable impact on the character of the countryside. Whilst it is accepted that these horse-related uses can only be accommodated in the countryside, not all locations within the countryside are necessarily appropriate. The overall impact of such proposals will be assessed against the criteria set out in national policy*”.

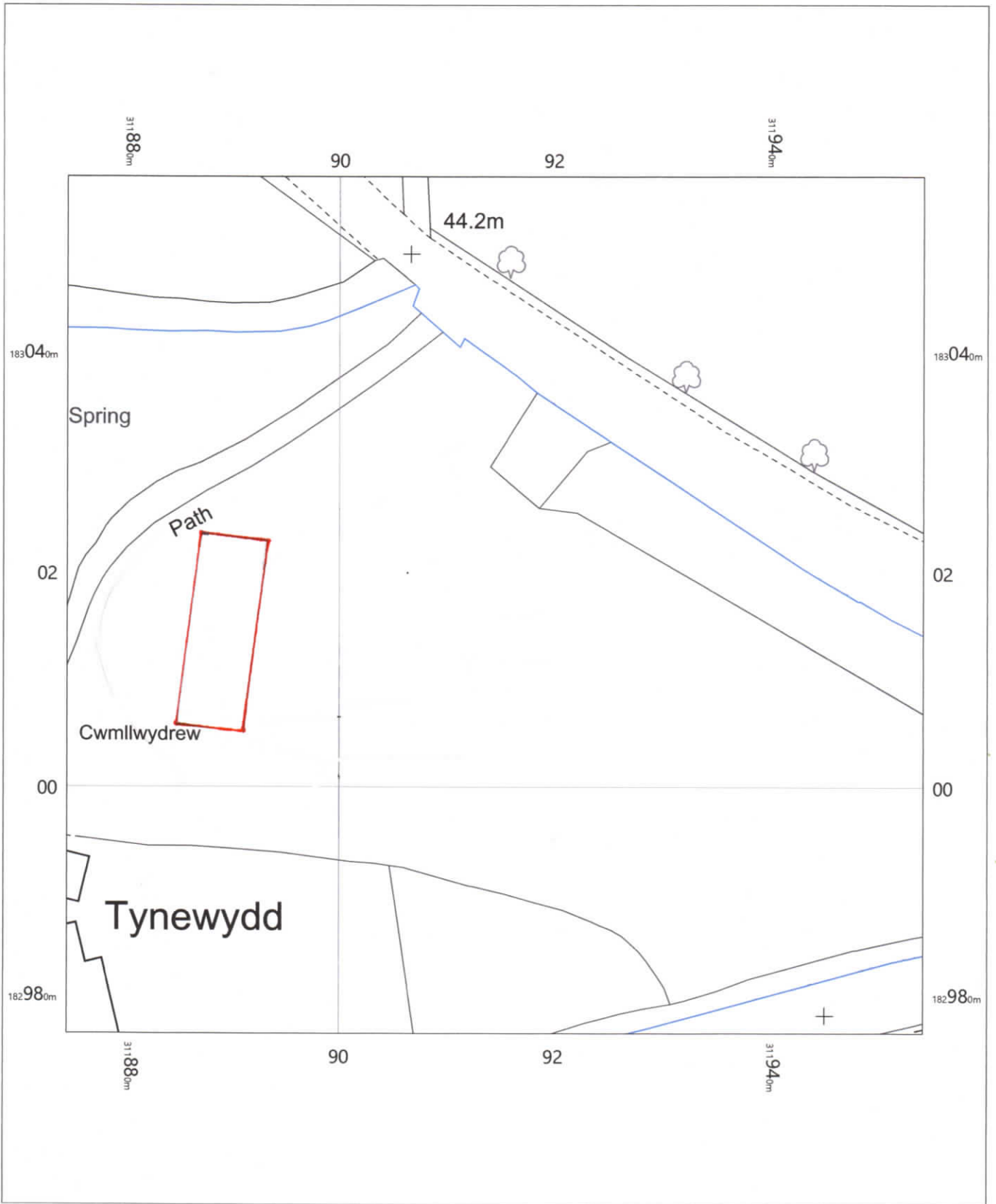
8.16 Para 5.75 of the LDP states, *“Any new development in the countryside should be designed and located to minimise their impact, usually within existing clusters of buildings or farm complexes and/or close to infrastructure and public transport. The use of outdoor space associated with development including hard and soft landscaping, means of access, car parking and the treatment of boundaries can all have significant detrimental impacts on the character and quality of the countryside and will therefore be strictly controlled”*.

8.17 The application site is within the Garth Hill and Ridges Special Landscape Area (SLA) which is an area characterised by a distinctive ‘ridge and valleys’ landscape which contrasts with the steep uplands of Garth Hill to the north and the more gently undulating lowland landscape to the south. This area forms part of the backdrop of encircling hills to the north of Cardiff and is therefore an important component of the wider landscape setting of the city. The sparse pattern of settlement and remote secluded character are considered to be positive characteristics of this area. The degradation of settlement fringe land, fly-tipping and horticulture is included as negative attributes of this area.

8.18 As set out above the construction of new buildings in the Green Wedge is inappropriate development unless one of the listed exceptions applies. It is considered that the proposal does not meet the exceptions set out in PPW. It is therefore considered that the stable building due to its scale and positioning would prejudice the openness of the Green Wedge and conflict with the purposes of including land within it which is to strategically manage the future built up form of Cardiff and to protect the distinctive, prominent and well know green backdrop to the city which forms the strategically important setting to the city.

- 8.19 Although stabling is usually accommodated within the countryside and often considered to be an appropriate use it is considered that in this case there is no justification for the proposed stables in this location to outweigh harm to the character and quality of the countryside and the Green Wedge. It would represent a substantial new building in the Green Wedge which would be visible from the road. Assessed against the guidance above it is considered that the scale and location of the stables proposed would have an unacceptable impact on the SLA and the character of the countryside in this location.
- 8.20 In conclusion, the proposal for stables is considered to be contrary to local and national planning policies which seek to protect the landscape and the countryside outside settlement boundaries, particularly within the designated Green Wedge, from inappropriate development and it is therefore recommended that planning permission be refused.

Ty Newydd, Heol Goch, CF15 9NA

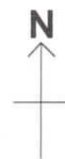


Ty Newydd
Heol Goch,
Pentyrch,
Cardiff,
CF15 9NA

OS MasterMap 1250/2500/10000 scale
Friday, June 14, 2019, ID: MPMBW-00806998
www.blackwellmapping.co.uk

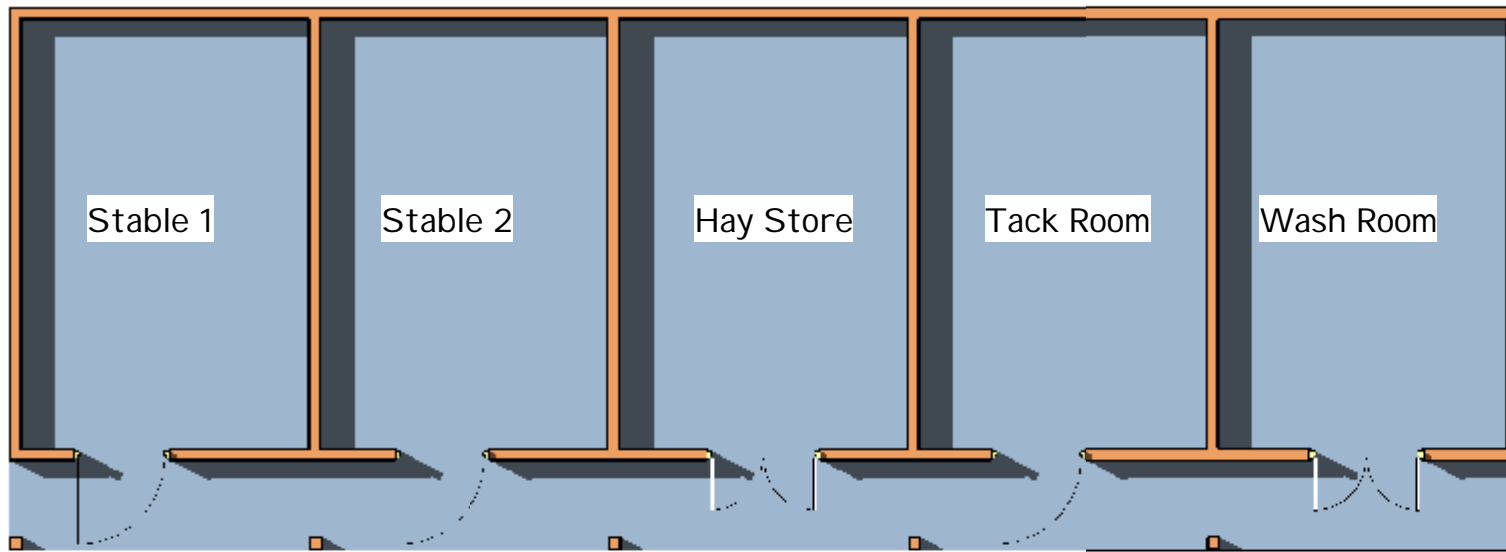
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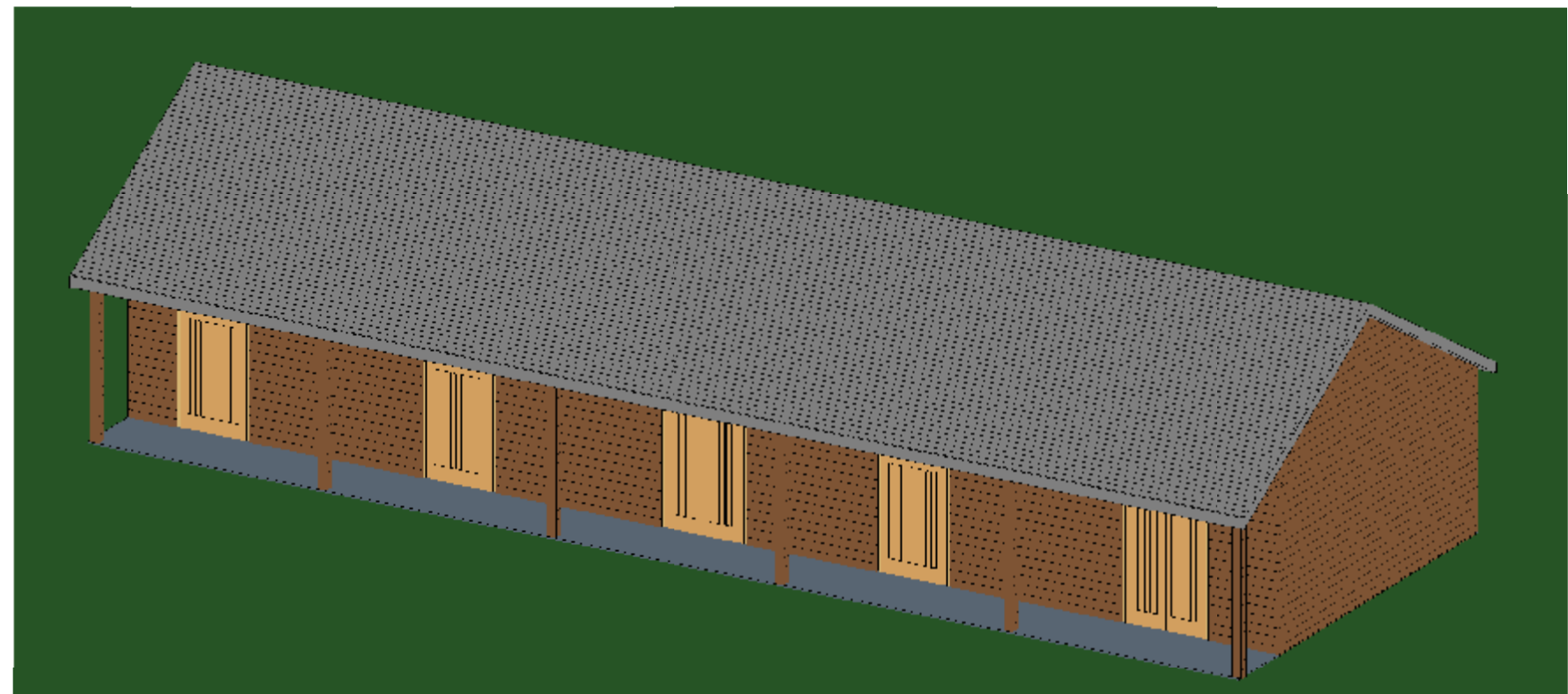


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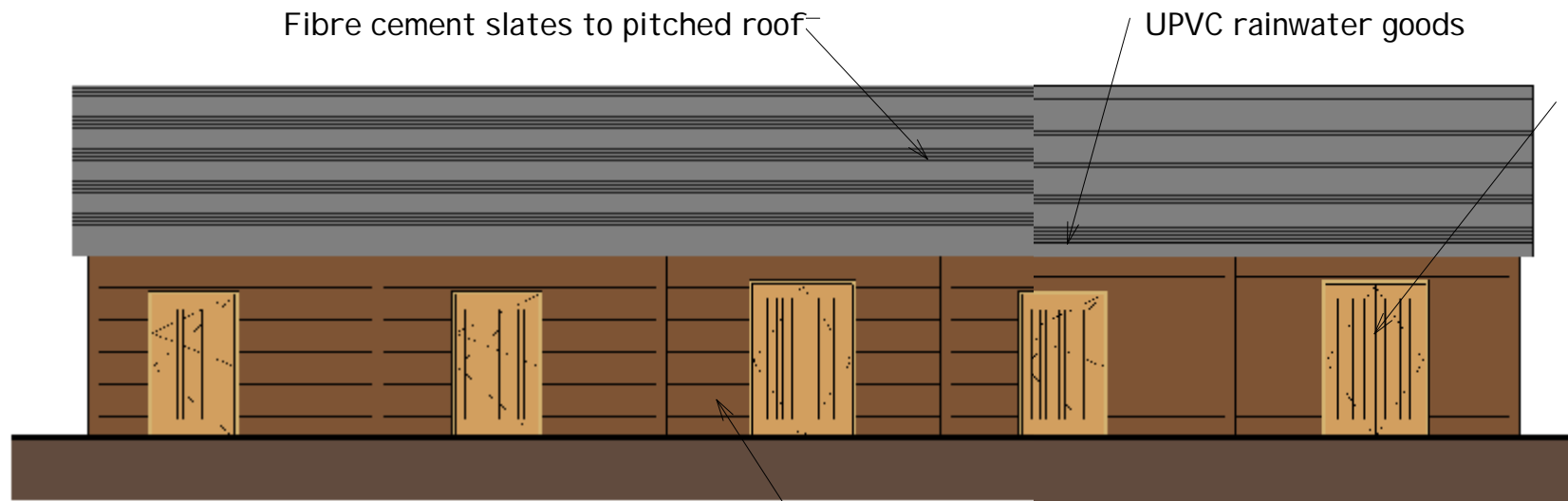


1 **3. Ground Floor**
1 : 100



2 {3D}

Project	Proposed Detached Stables @ Former 'St Peters Mission Church' Site Tynewydd, Gwaelod Y Garth, Cardiff	Scale	1:100	Date	14/06/2019
		Drawing No.	A100	File No.	19/0000

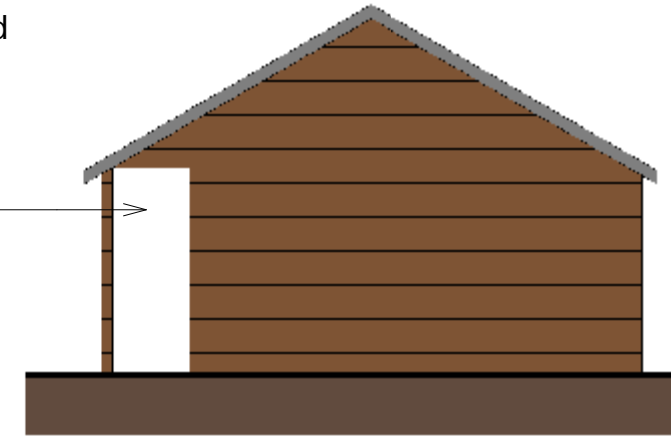


1

Front Elevation

1 : 100

Timber frame construction with timber cladding externally applied

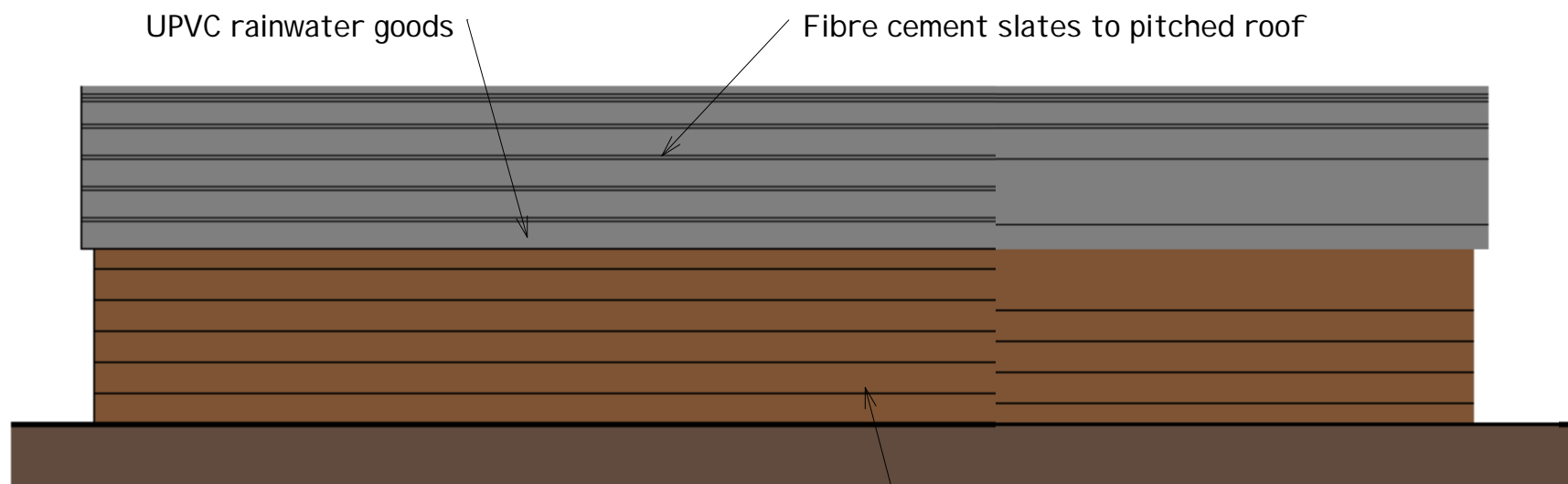


3

Side Elevation 1

1 : 100

Overhang

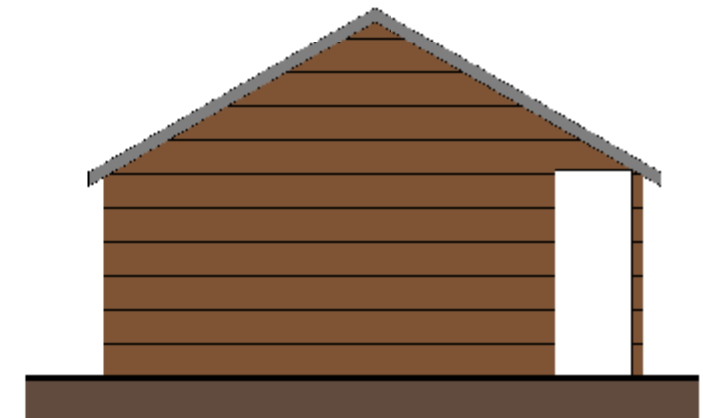


2

Rear Elevation

1 : 100

Timber frame construction with timber cladding externally applied



4

Side Elevation 2

1 : 100

Project

Proposed Detached Stables @ Former 'St Peters Mission Church' Site
Tynewydd, Gwaelod Y Garth, Cardiff

Scale

1:100

Date

14/06/2019

Drawing No.

A101

File No.

19/0000

COMMITTEE DATE: 16/10/2019

APPLICATION No. **19/02232/MNR** APPLICATION DATE: 14/08/2019

ED: **CATHAYS**

APP: TYPE: Full Planning Permission

APPLICANT: M.D.Walters Property

LOCATION: 5 MAY STREET, CATHAYS, CARDIFF, CF24 4EW

PROPOSAL: CHANGE OF USE OF A THREE-BEDROOM (C3) DWELLING INTO A FIVE-BEDROOM HMO C4 USE (RETROSPECTIVE)

RECOMMENDATION : That planning permission be **REFUSED** for the following reasons :

1. The use of the property as a C4 House in Multiple Occupation will further exacerbate the unacceptable cumulative adverse impacts on the amenities of the area by virtue of :
 - a higher number of transient residents leading towards less community cohesion and undermining the objectives of securing a sustainable mixed use community, contrary to Policy KP5 (Good Quality and Sustainable Design) and H5 (Sub-Division or Conversion of Residential Properties of the Cardiff Local Development Plan (2006-2016) and the Houses in Multiple Occupation Supplementary Planning Guidance (2016);
 - a higher portion of transient residents leading to an increase of cumulative demand on social, community and physical infrastructure, contrary to Policy KP5 (Good Quality and Sustainable Design) and H5 (Sub-Division or Conversion of Residential Properties of the Cardiff Local Development Plan (2006-2016) and the Houses in Multiple Occupation Supplementary Planning Guidance (2016).
2. The use of the property as an C4 House in Multiple Occupation will further exacerbate the negative impacts caused by Houses in Multiple Occupation in respect of crime and anti-social behaviour, contrary to Policy H5 (Sub-Division or Conversion of Residential Properties of the Cardiff Local Development Plan (2006-2016) and the Houses in Multiple Occupation Supplementary Planning Guidance (2016).

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 This application seeks planning permission to retain the change of use of the property from a C3 residential dwelling house to a C4 House in Multiple Occupation (3-6 occupants). The applicant states that the property has been in use as a House in Multiple Occupation since 25/08/2017. This application

seeks to regularise the current use of the property.

- 1.2 Members should note that the proposal does not include any external alterations or extensions to the property.
- 1.3 Internally, the accommodation would comprise, a combined kitchen / diner / living room, two bedrooms and a shower / WC on the ground floor and three bedrooms bathroom and WC on the first floor.
- 1.4 Externally, an amenity space of approximately 38 square metres would be provided at the rear of the property where cycle parking and waste storage facilities would be provided.

2. **DESCRIPTION OF THE SITE**

- 2.1 The site comprises a two storey mid-terrace dwelling house with a rear two storey annex that has been extended at ground floor level. The property is not listed or located within a Conservation Area, nor within a flood zone.

3. **PLANNING HISTORY**

Application No : 16/02306/DCH
Proposal : REAR EXTENSION
Application Type: HSE
Decision : PER
Decision Date : 21/11/2016

4. **POLICIES OF PARTICULAR RELEVANCE**

National Planning Policy

- *Planning Policy Wales (10th Ed) 2018*
- *Technical Advice Note 12: Design*
- *Development Management Manual*

Cardiff Local Development Plan 2006-2026 (2016)

- *Policy EN14 (Flood Risk)*
- *Policy H5 (Sub-division or Conversion of Residential Property)*
- *Policy KP5 (Good Quality and Sustainable Design)*
- *Policy T5 (Managing Transport Impacts)*
- *Policy W2 (Provision of Waste Management Facilities in Development)*

Supplementary Planning Guidance

- *Managing Transportation Impacts (Incorporating Parking Standards) SPG 2018*
- *Houses in Multiple Occupation (HMO's) (October 2016)*
- *Waste Collection and Storage Facilities (October 2016)*

5. **INTERNAL CONSULTEE RESPONSES**

5.1 Traffic and Transportation have been consulted and commented as follows:

'The proposal is to convert the dwelling to a 5-bed HMO and thus at least 5 cycle parking spaces are required. Whilst an area for cycle parking is shown, the spacing seems tight and they are all of the semi-vertical type, whereas we would want at least some not of that type to ease accessibility. A 'fixing bar' in the rear could provide an alternative for a space. The cycle parking should be covered'.

5.2 Waste Management have been consulted and commented as follows:

'The proposed location for the storage of waste and recycling at the rear of the property in the amenity area is acceptable'.

6. **EXTERNAL CONSULTEE RESPONSES**

6.1 South Wales Police have been consulted and object to the application on the grounds that the high concentration of HMOs could have a negative impact on crime levels in the area.

7. **REPRESENTATIONS**

7.1 Neighbours have been consulted and no comments have been received.

7.2 Local Ward Councillors Mackie, Merry and Weaver have been consulted and no comments have been received.

8. **ANALYSIS**

8.1 The application seeks planning permission to retain the use of the property as a five bedroom C4 House in Multiple Occupation (HMO). As use Class C4 allows for tenanted living accommodation occupied by up to six people, who are not related and who share one or more basic amenities as their only or main residence, the main issue for this application is the impact the change of use will have on the character of the area, the community and the living conditions of future occupiers of the property.

8.2 Policy Considerations – In respect of the conversion of the property to a C4 HMO, Policy H5 of the adopted LDP is considered relevant. Further guidance can also be found in the adopted HMO SPG.

8.3 Policy H5 of the LDP is considered to be prescriptive policy whereby as long as the relevant criteria is met there is unlikely to be any objection to such proposals. It advises that:

'proposals for any conversion to flats or Houses in Multiple Occupation will be permitted where:

- i. The property is of a size whereby the layout, room sizes, range of facilities and external amenity space of the resulting property would ensure an adequate standard of residential amenity for future occupiers.
- ii. There would be no material harm to the amenity of existing, nearby residents by virtue of general disturbance, noise or overlooking.
- iii. The cumulative impact of such conversions will not adversely affect the amenity and/or character of the area.
- iv. Does not have an adverse effect on local parking provision.

8.5 The approved Supplementary Planning Guidance on HMO's further expands on this Policy and aims to provide background information on, and provide a rationale for how the Council will assess applications for planning permission to create new C4 and Sui Generis HMO's. It aims to identify the threshold at which it is deemed that the concentration of HMO's in an area has reached a level considered to adversely impact upon the community. It is recognised that HMOs can provide an important source of housing and it is recognised that demographic change has driven many of the changes that have seen traditional family homes become HMOs. HMOs are a popular accommodation source for many groups, including students, young professionals, migrant workers and often people on lower incomes.

However, concentrations of HMOs clustered in small geographical areas can detract from the character of the area and actively contribute towards a number of perceived problems, including, but not limited to:

- Increased population density, leading to greater demand for infrastructure, such as waste collections and on street parking.
- A higher proportion of transient residents, potentially leading to less community cohesion, undermining existing community facilities.
- Areas of higher HMO concentrations becoming less popular with local residents with many properties taken out of the owner-occupier market.
- A proliferation of properties vacant at certain points of the year.
- Subsequent impact on crime, local centre viability, as a result of the number of properties temporarily vacant for long periods.

It is considered that this may conflict with Policy KP13 of the LDP which aims to improve quality of life for all.

Having identified some of the issues caused by HMOs the Council considered it was necessary to determine a threshold at which new HMOs may cause harm to a local area. This threshold will resist further HMO's in communities that already have a concentration above this limit, while also controlling the growth of HMOs in communities below this threshold. A two tier threshold will therefore be applied to determine when an area has reached the point at which further HMOs would cause harm. In Cathays and Plasnewydd the figure of 20% is to be applied and in all other wards, the figure of 10% is to be applied. This means that within Cathays or Plasnewydd, if more than 20% of the dwellings within a 50% radius of the proposed HMO are already established HMOs (i.e. either C4 or sui generis in planning terms) then this development would be considered unacceptable. In other wards the figure would be 10%.

Having regard to the 'cumulative impact' of such conversions in respect of this application, an analysis has been made on the extent of HMOs (including those defined as such under Sections 254 to 259 of the Housing Act 2004 and those covered under the Additional Licensing Scheme which operates within the Cathays and Plasnewydd Wards of Cardiff) against the threshold limits identified above. As the application site is located within the Cathays Ward of Cardiff a 20% threshold limit will be relevant and having undertaken such checks within the 50m of the application site it was found that 86% of properties within 50m of the application site were registered HMOs. This is above the 20% limit which would trigger the active consideration of negative cumulative impact consequences.

- 8.6 Room Sizes – The Cardiff HMO Licensing Fire & Safety Standards (updated in 2014) sets standards in terms of amenity, space standards and facilities which must be adhered to in order to obtain a License from the Council. From a planning perspective, paragraph 6.1.1 of the adopted HMO SPG identifies that this would be the minimum that would be expected to be achieved for all applications for both C4 HMO's and larger sui generis HMO's. Having had regard to this criteria the submitted plans indicate that these standards would be met.
- 8.7 Waste – Policy W2 of the Cardiff Local Development Plan seeks to ensure that adequate provision is made for waste management facilities within new developments, in order to aid the Council in meeting the challenging waste recycling targets set by European and National targets. Facilities provided should be secure, unobtrusive and easily assessable.

The adopted Waste Collection and Storage Facilities SPG supplements policies adopted in the LDP relating to the provision of waste management facilities in new development. Paragraph 4.12 of the approved SPG on Waste Collection and Storage Facilities advises that for HMO's the recommended bin allocation for between 1 & 5 residents is as follows:

1 x 140L bin for general waste
1 x 240L bin for garden waste (if required)
1 x 25L bins for food waste
Green bags for recycling.

This is the same waste allocation as an existing C3 residential property. As this application seeks the change of use of the property to a C4 HMO (5 occupants) then there will be no change in waste allocation requirements. Waste Management has been consulted and does not object to the proposal.

- 8.8 Transportation - Policy KP8 of the LDP seeks to reduce travel demand and dependence on the car. It identifies that to accommodate the planned growth levels predicted for the city, existing and future residents will need to be far less reliant on the private car and seeks to ensure that more everyday journeys are undertaken by sustainable modes of transport. Policy T5 of the LDP also identifies that all new development for which planning permission is required

will contribute to reducing reliance on the private car, in line with national planning policies and the strategic transport objectives of the LDP. The Council's approved Supplementary Planning Guidance on Managing Transportation Impacts (Incorporating Parking Standards) supplements the LDP in this respect and sets out the Councils approach to assessing and managing the transport impacts of developments within the City. Section 6 of the SPG refers to parking standards and is therefore an important tool to be used in managing demand for travel by car and encouraging a shift to sustainable transport modes.

In respect of car parking the SPG identifies that a C4 HMO does not require any off-street car parking spaces to be policy compliant.

With respect to cycle parking the use of the property as a C4 HMO requires 1 undercover and secure cycle parking space per bedroom to be policy compliant. As this application seeks the change of use of the property to a 5 bedroom HMO then 5 undercover and secure cycle parking spaces will need to be provided. The comments by the Transportation officer are noted, however, there would appear to be sufficient space within the rear amenity area to accommodate sufficient cycle storage provision and therefore, it is considered that it would be unreasonable to refuse planning permission on these grounds.

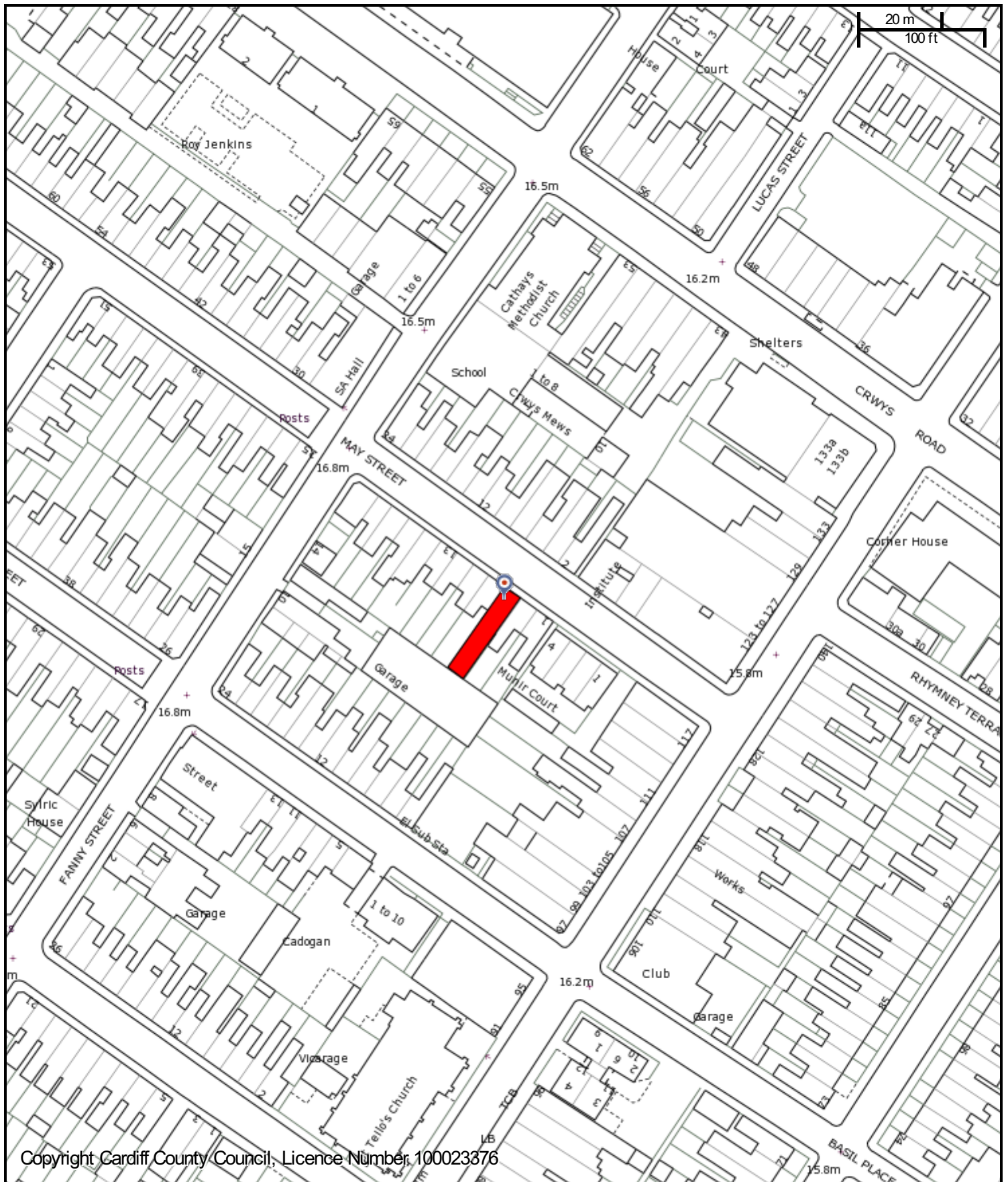
- 8.9 Amenity Space – Criterion i) of Policy H5 of the LDP advises that planning permission will be granted where *“The property is of a size whereby the ...external amenity space of the resulting property would ensure an adequate standard of residential amenity for future occupiers.”* This is further reinforced by the HMO SPG which advises that amenity space is important in retaining a quality of life for people living within the dwelling. Paragraph 6.3.2 of the SPG states *“The City of Cardiff Council has typically used the figure of 25m² as the minimum expected external useable amenity space for C3 dwellings, i.e. for those dwellings up to 6 persons. This level should also apply to C4 properties. Each additional person would be expected to have 2.5m². As such, for example, the minimum expected for a 7 bed HMO would be 27.5m² of external amenity space. Each additional person should result in a corresponding increase of 2.5m². Useable amenity space is considered to be at least 1.4m wide, enabling storage and access.”*

In respect of amenity space as the application seeks permission for to change the use of the property to a C4 HMO then 25 square metres will be required. Having undertaken an assessment of the property an amenity space of approximately 38 square metres will be available for occupiers to use. As the minimum amenity space requirement as specified in the HMO SPG will be 25 square metres the proposal is therefore considered acceptable when considered against the HMO SPG.

9. **RECOMMENDATION**

- 9.1 The Council is mindful of the current climate with respect to the amount of HMO's within the City and that there are concerns that a proliferation of such uses can undermine the character of an area to the detriment of local residents.

In respect of this application it is considered that the proposal does not comply with both local and national planning policies with respect to HMO's and the Council's adopted SPG on HMO's.



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CHIEF EXECUTIVE

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 Tel: 029 20872088

County Hall, Atlantic Wharf
 CARDIFF CF10 4UW
 Tel: 029 20872087

Cyngor Caerdydd

Cardiff Council



Title

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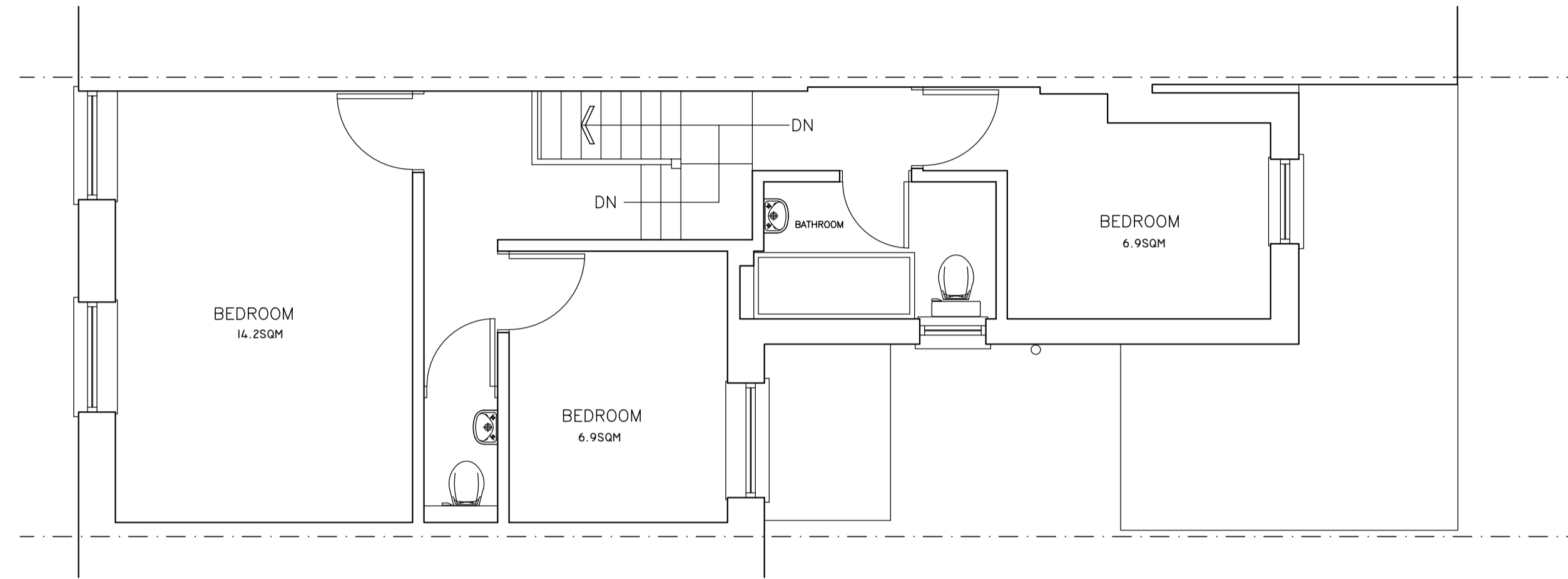
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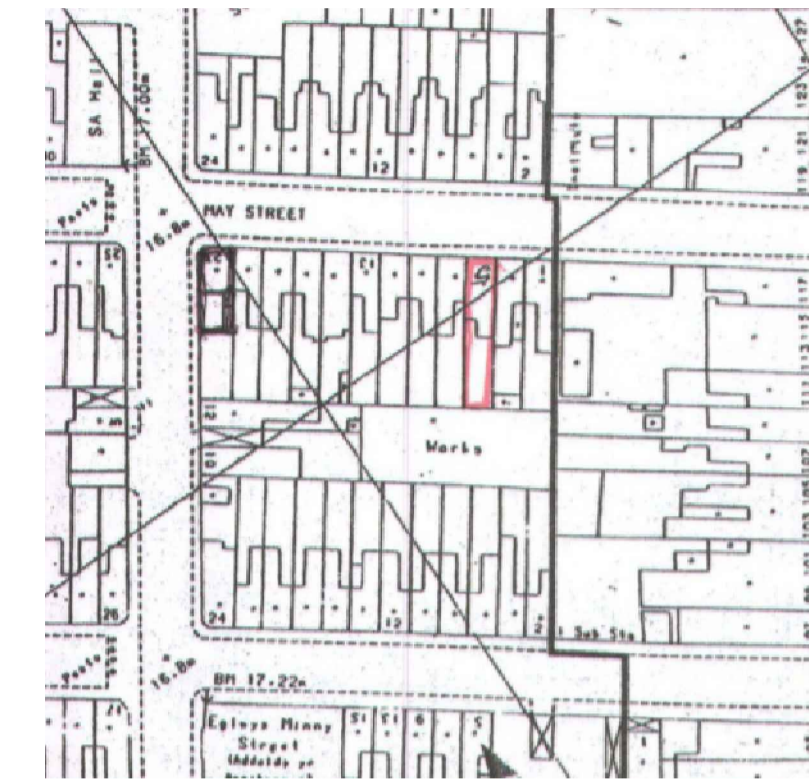
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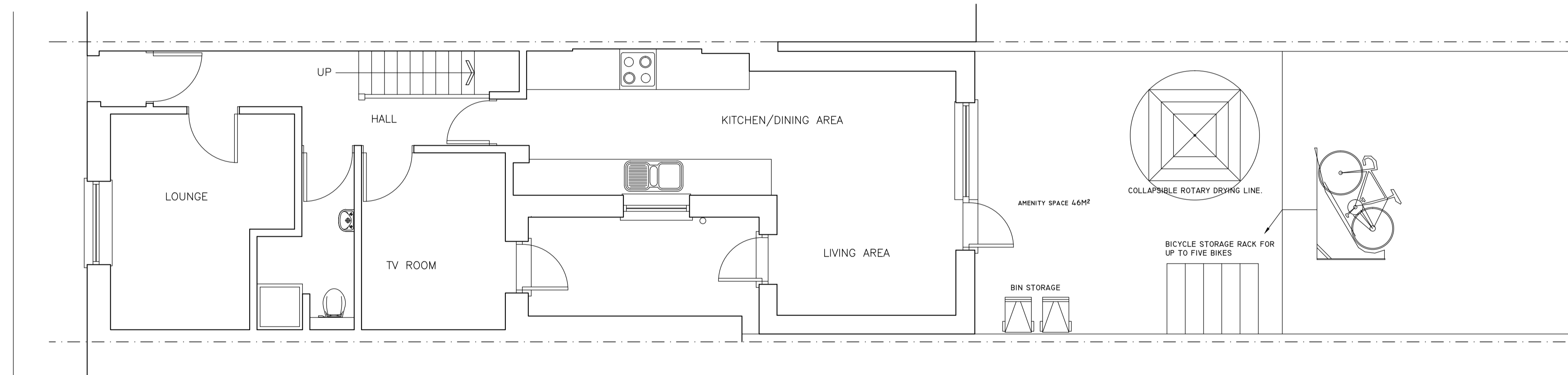


FIRST FLOOR PLAN



LOCATION PLAN

SCALE 1:1250



GROUND FLOOR PLAN AND SITE LAYOUT

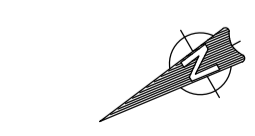


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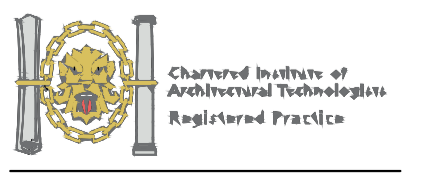
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Project:
5 MAY STREET
CARDIFF
CF24 4EW

Title:
EXISTING PLANS AND LOCATION PLAN



Scale: 1:50
Date: 0819
Project No. 4401
Drawing No. (---)01
Rev.



Applications decided by Delegated Powers between 02/09/2019 and 30/09/2019

Total Count of Applications: 199

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01877/DCH	02/07/2019	Snook	REMOVAL OF CONDITION 4 OF 17/02089/DCH REGARDING OBSCURE GLAZING	1 CLOS Y BRYN, RHIWBINA, CARDIFF, CF14 6TR	90	False	Planning Permission be refused	30/09/2019

ADAM

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01725/DCH	11/07/2019	Mr Amin	CONVERSION OF GARAGE/STORE TO HOME OFFICE & GYM WITH NEW ROOF OVER	71 STACEY ROAD, ADAMSDOWN, CARDIFF, CF24 1DT	56	True	Permission be granted	05/09/2019

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/00517/MJR	07/03/2019	HESP	DISCHARGE OF CONDITIONS 3 (BIN STORE), 4 (GATES), 8 (SAMPLES) AND 9 (EXTERNAL LIGHTING) OF 16/02867/MJR	CANADIAN HOTEL, 143 PEARL STREET, ADAMSDOWN, CARDIFF, CF24 1PN	189	False	Full Discharge of Condition	12/09/2019
19/02149/MJR	02/08/2019	HESP	VARIATION OF CONDITION 2 TO ALTER THE NUMBER OF CYCLE STORES - PREVIOUSLY APPROVED UNDER 16/02867/MJR	CANADIAN HOUSE, BRADLEY STREET, ADAMSDOWN, CARDIFF, CF24 1PN	41	True	Permission be granted	12/09/2019

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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19/01985/MNR	16/07/2019	One Two Five Property	CONVERSION OF FIRST FLOOR INTO A 2 BEDROOM SELF CONTAINED FLAT	17-18 CLIFTON STREET, ADAMSDOWN, CARDIFF, CF24 1PX	55	True	Permission be granted	09/09/2019
19/02194/MNR	07/08/2019	Berhe	VARIATION OF CONDITION 3 OF 18/01427/MNR TO CHANGE OPENING HOURS TO 10am - 10pm (MON-SUN)	37 BROADWAY, ADAMSDOWN, CARDIFF, CF24 1QE	43	True	Permission be granted	19/09/2019
A/19/00098/MNR	13/08/2019	Crosslane Student Developments (Howard Gardens) Ltd	MISCELLANEOUS ADVERTISEMENTS COMPRISING PANEL SIGNS AND APPLIED LETTERING	BOWLING GREEN, HOWARD GARDENS, HOWARD GARDENS, ADAMSDOWN	27	True	Permission be granted	09/09/2019
A/19/00099/MNR	04/09/2019	Tesco Stores Ltd Express Group	2 X NEW FASCIA PANEL AND OTHER SIGNS	TESCO EXPRESS, 31-32 CLIFTON STREET, ADAMSDOWN, CARDIFF, CF24 1LR	19	True	Permission be granted	23/09/2019

BUTE

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02209/DCH	12/08/2019	Mrs Lila Khan	SINGLE STOREY REAR AND FLAT ROOF EXTENSION	15 WEST CLOSE, BUTETOWN, CARDIFF, CF10 5LD	32	True	Permission be granted	13/09/2019
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02090/MJR	25/07/2019	Hospitality and Capital Management Group	MINOR CHANGES TO THE PLANS PREVIOUSLY APPROVED UNDER 18/00455/MJR	HOLIDAY INN EXPRESS, LONGUEIL CLOSE, ATLANTIC WHARF, CARDIFF, CF10 4EE	42	True	Permission be granted	05/09/2019

18/02663/MJR	13/11/2018	SKYVIEW ESTATES LTD	VARIATION OF CONDITION 1 OF 10/02361/DCI (PROPOSED 'HAMPTON' BY HILTON HOTEL WITH ANCILLARY RESTAURANT, BUSINESS/CONFERENCE FACILITES, CAR PARK AND EXTERNAL WORKS) TO EXTEND THE TIME LIMIT FOR A FURTHER 30 MONTHS FROM THE CURRENT EXPIRY DATE OF 08.06.2019	LAND BETWEEN 55 AND 56 BUTE STREET, BUTETOWN, CARDIFF	303	False	Permission be granted	12/09/2019
17/00475/MJR	02/03/2017	Fusion Cardiff Capital Quarter LLP	DISCHARGE OF CONDITIONS 22 (GAS MONITORING), 23 (AGGREGATES), 24 (TOPSOIL), 25 (AGGREGATE CONTAMINANTS), 26 (DRAINAGE SCHEME) AND 30 (AIR QUALITY ASSESSMENT) OF 16/03041/MJR	LAND AT HERBERT STREET, ATLANTIC WHARF, CARDIFF, CF10 4AY	935	False	Full Discharge of Condition	23/09/2019
17/01839/MJR	02/08/2017	Fusion Cardiff Capital Quarter LLP	DISCHARGE OF CONDITIONS 10 (ACOUSTIC REPORT) AND 28 (LANDSCAPING) OF 16/03041/MJR	LAND AT HERBERT STREET, ATLANTIC WHARF, CARDIFF, CF10 4AY	782	False	Full Discharge of Condition	23/09/2019
19/02238/MJR	15/08/2019	IM Properties PLC	VARIATION OF CONDITION 2 TO ALLOW MINOR CHANGES AND REPLACEMENT OF PLANS PREVIOUSLY APPROVED UNDER 18/02634/MJR	PLOT J, CAPITAL QUARTER, TYNDALL STREET, ATLANTIC WHARF	25	True	Permission be granted	09/09/2019
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02035/MNR	26/07/2019	Dwr Cymru Welsh Water	1 NO. DOSING KIOSK, FRONTING ONTO BUTE STREET, MERMAID QUAY, CARDIFF BAY	LAND AT MERMAID QUAY, BUTE STREET, BUTETOWN	53	True	Permission be granted	17/09/2019
A/19/00091/MNR	25/07/2019	Techniquet	ILLUSTRATION OF COMPANY INFORMATION AND SERVICES ACCOMPANIED BY DIRECTIONAL GUIDANCE INTO THE PREMISES ON EXISTING HOARDINGS	TECHNIQUEST, STUART STREET, CARDIFF BAY, CARDIFF, CF10 5BW	56	True	Permission be granted	19/09/2019

19/02092/MNR	25/07/2019	S. Andrews and Son Ltd	MINOR INTERNAL ALTERATIONS TO BASEMENT & 3RD FLOOR	PASCOE HOUSE, 54 BUTE STREET, BUTETOWN, CARDIFF, CF10 5AF	56	True	Permission be granted	19/09/2019
A/19/00110/MNR	30/08/2019	Schroders UK Real Estate Fund	1 X NON-ILLUMINATED 'EVERYMAN' LETTERING AND DIRECTIONAL ARROW TO BE STENCILLED ONTO BRICKWORK; AND 1 X INTERNALLY ILLUMINATED ALUMINIUM 'EVERYMAN' LETTERING AFFIXED TO ELEVATION	MERMAID QUAY, BUTE CRESCENT, CARDIFF BAY, CARDIFF, CF10 5BZ	24	True	Permission be granted	23/09/2019
19/02391/MNR	30/08/2019	SAMUELS AND THOMAS	SECOND FLOOR LAYOUT HAS TWO BEDROOMS AND NOT THREE AS APPROVED UNDER 18/01218/MNR	104-105 BUTE STREET, BUTETOWN, CARDIFF, CF10 5AD	10	True	Permission be granted	09/09/2019
A/19/00103/MNR	23/08/2019	c/o agent	ERECTION OF LETTER "A" SIGN	ASSEMBLY CONTAINER ADJACENT TO FORMER CARDIFF BAY STATION, BUTE STREET, BUTETOWN	13	True	Permission be granted	05/09/2019
19/02288/MNR	19/08/2019	West Rise UK Limited	RETROSPECTIVE APPLICATION WHICH SEEKS PLANNING CONSENT FOR CHANGES MADE TO THE APPROVED PLANNING APPLICATION (15/02812/MNR). THE MAIN CHANGES TO THE PREVIOUS APPROVALS ARE SUMMARISED AS: (1) CHANGES TO THE MAIN ROOF (2) INCREASED IN HEIGHT (3) THE REMOVAL OF THE PITCHED ROOF DORMERS (4) CHANGES TO THE FINISHING MATERIAL OF THE REAR ELEVATION (5) NEW ROOF WINDOWS	LAND AT POMEROY STREET, BUTETOWN	30	True	Permission be granted	18/09/2019

CAER

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02077/DCH	24/07/2019	ORASHID	TWO STOREY REAR AND LOFT CONVERSION WITH REAR DORMER AND EXTERNAL ALTERATIONS	11 HEOL EGLWYS, CAERAU, CARDIFF, CF5 5NY	54	True	Permission be granted	16/09/2019

CANT

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02088/DCH	07/08/2019	Gambarini	TO CHANGE ROOF OF REAR ELEVATION FROM PITCHED TO FLAT AND OTHER MINOR ALTERATIONS	44 GLAMORGAN STREET, CANTON, CARDIFF, CF5 1QS	42	True	Permission be granted	18/09/2019
19/02004/DCH	29/07/2019	PRICE	SMALL GROUND FLOOR SINGLE STOREY KITCHEN EXTENSION	2 WEMBLEY ROAD, CANTON, CARDIFF, CF5 1NG	45	True	Permission be granted	12/09/2019
19/01979/DCH	23/07/2019	Roberts Jones	SLATTED FENCE ABOVE AN EXISTING WALL ADJACENT TO THE ROAD	9 WESTBURY TERRACE, CANTON, CARDIFF, CF5 1FZ	69	False	Permission be granted	30/09/2019
19/02169/DCH	05/08/2019	DRISCOLL	LOFT EXTENSION WITH REAR DORMER	139 LANSDOWNE ROAD, CANTON, CARDIFF, CF5 1PS	38	True	Permission be granted	12/09/2019
19/02192/DCH	07/08/2019	Narbad	SINGLE STOREY REAR EXTENSION COMPLETE WITH RAISED PATIO AREA. EXISTING GARAGE CONVERTED TO HABITABLE ROOM. NEW HIP TO GABLE LOFT CONVERSION COMPLETE WITH DORMER TO REAR	36 BROADACRES, CANTON, CARDIFF, CF11 8DD	36	True	Permission be granted	12/09/2019

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02410/MJR	03/09/2019	Ely Mill Development Company Ltd	INTRODUCTION OF PHOTO VOLTAIC ROOF TILES PREVIOUSLY APPROVED UNDER 18/02380/MJR	FORMER PAPER MILL ARJO WIGGINS, SANATORIUM ROAD, CANTON	16	True	Permission be granted	19/09/2019

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
A/19/00092/MNR	30/07/2019	Renault Trucks Cardiff	REPLACEMENT RENAULT TRUCKS BRAND SIGNAGE	ENGLANDS TRUCK CARE, HADFIELD ROAD, LECKWITH, CARDIFF, CF11 8AQ	55	True	Permission be granted	23/09/2019
19/02102/MNR	29/07/2019	Advanced Hair Studio	PROPOSED CONVERSION OF FIRST AND SECOND FLOOR TO A TWO BEDROOM FLAT	186 LANSDOWNE ROAD, CANTON, CARDIFF, CF5 1JT	58	False	Permission be granted	25/09/2019
18/02316/MNR	01/10/2018	The Cardiff Property PLC	REFENESTRATION OF PROPERTY TOGETHER WITH ADDITIONAL FLOOR AND MANSARD PITCHED ROOF, RETAINING EXISTING USE	635 COWBRIDGE ROAD EAST, CANTON, CARDIFF, CF5 1AX	352	False	Planning Permission be refused	18/09/2019
19/02341/MNR	23/08/2019	Lewis	ALTERATIONS TO AN EXISTING GARAGE BUILDING TO INSTALL A NEW FLAT ROOF AND RAISE THE EAVES ALONG THE EASTERN BOUNDARY	GARAGE TO THE REAR OF 36 SURREY STREET, CANTON, CARDIFF, CF5 1JZ	31	True	Permission be granted	23/09/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02094/DCH	26/07/2019	Winter	REAPPLICATION OF PLANNING CONSENT 14/01362/DCH - ALTERATIONS TO EXISTING FIRST FLOOR EXTENSIONS. DEMOLITION AND EXTENSION OF EXISTING GROUND FLOOR ANNEX	78 THESIGER STREET, CATHAYS, CARDIFF, CF24 4BP	55	True	Permission be granted	19/09/2019
19/01720/DCH	29/07/2019	Mr Griffiths	GROUND FLOOR REAR EXTENSION PLUS REAR DORMER LOFT CONVERSION AND ALTERATIONS TO EXISTING HOUSE IN MULTIPLE OCCUPATION	15 THESIGER STREET, CATHAYS, CARDIFF, CF24 4BN	52	True	Permission be granted	19/09/2019

19/01765/DCH	17/07/2019	Kellard	REPLACEMENT OF FIRST FLOOR WINDOWS (SASHES ONLY)	5 RAGLAN HOUSE, WESTGATE STREET, CITY CENTRE, CARDIFF, CF10 1DN	56	True	Permission be granted	11/09/2019
19/02263/DCH	14/08/2019	Mr Nasir Jarjis	SINGLE STOREY REAR EXTENSION & LOFT CONVERSION WITH REAR DORMER & EXTERNAL ALTERATIONS	90 DOGFIELD STREET, CATHAYS, CARDIFF, CF24 4QZ	29	True	Permission be granted	12/09/2019
19/02293/DCH	19/08/2019	Salih	GROUND & FIRST FLOOR REAR/SIDE EXTENSION TO EXISTING FLATS.	27 RHIGOS GARDENS, CATHAYS, CARDIFF, CF24 4LS	39	True	Planning Permission be refused	27/09/2019

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19/01540/MJR	23/05/2019	Rightacres Property Company Ltd	PARTIAL DEMOLITION, REFURBISHMENT, CHANGE OF USE AND REDEVELOPMENT OF PARKGATE, THE FORMER COUNTY COURT BUILDING AND ADJACENT LAND FOR USE AS A HOTEL INCLUDING ASSOCIATED INTERNAL ALTERATIONS TO LISTED BUILDINGS	PARKGATE HOUSE, FORMER COUNTY COURT BUILDING AND ADJACENT LAND, WESTGATE STREET, CITY CENTRE, CARDIFF, CF10 1NW	116	False	Permission be granted	16/09/2019
19/02409/MJR	03/09/2019	Gill	REDUCED LENGTH OF REAR EXTENSIONS PREVIOUSLY APPROVED UNDER 18/00678/MJR	33 CAROLINE STREET, CITY CENTRE, CARDIFF, CF10 1FF	21	True	Permission be granted	24/09/2019
19/02273/MJR	15/08/2019	Hemway	ADDITIONAL ROOF SCREEN ON EXISTING ROOF AND ADJUSTMENT TO WINDOWSILL LEVELS AND ALIGNMENT OF LOWER GROUND FLOOR WINDOWS FRONTING PENARTH ROAD - PREVIOUSLY APPROVED UNDER 17/02604/MJR	SLEEPERZ HOTEL, SAUNDERS ROAD, CITY CENTRE, CARDIFF, CF10 1RH	21	True	Permission be granted	05/09/2019

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19/00418/MNR	27/02/2019	Llywelyn Holdings Limited	CONVERSION AND EXTENSION OF EXISTING DWELLING TO CREATE TWO NUMBER SELF CONTAINED TWO BEDROOM APARTMENTS	39 THESIGER STREET, CATHAYS, CARDIFF, CF24 4BP	198	False	Permission be granted	13/09/2019
19/01414/DCH	08/05/2019	Mr Shen	GROUND FLOOR REAR EXTENSION TO EXISTING C4 HOUSE IN MULTIPLE OCCUPATION WITH REAR DORMER	34 ROBERT STREET, CATHAYS, CARDIFF, CF24 4PD	124	False	Permission be granted	09/09/2019
A/19/00094/MNR	31/07/2019	Whitbread Plc	BRANDED FASCIA AND PROJECTING SIGNS AND MENU UNIT FOR RESTAURANT AS PART OF REDEVELOPMENT OF AN EXISTING BUILDING	CUSTOM HOUSE, CUSTOM HOUSE STREET, CITY CENTRE, CARDIFF, CF10 1AP	42	True	Permission be granted	11/09/2019
19/02133/MNR	31/07/2019	Whitbread Plc	BRANDED FASCIA AND PROJECTING SIGNS AND MENU UNIT FOR RESTAURANT AS PART OF REDEVELOPMENT OF AN EXISTING BUILDING	CUSTOM HOUSE, CUSTOM HOUSE STREET, CITY CENTRE, CARDIFF, CF10 1AP	42	True	Permission be granted	11/09/2019
19/02073/MNR	24/07/2019	Transworld Real Estate	CHANGE OF USE FROM SHOP A1 TO COFFEE SHOP A3	THE SHOP, NICKEL YARD, BAKERS ROW, CITY CENTRE, CARDIFF, CF10 1AL	50	True	Permission be granted	12/09/2019
19/02111/MNR	08/08/2019	GHANI	THE USE FROM 2011 AS A C4, 6 BED HMO PRE-DATES THE FEB 2016 LEGISLATION REQUIRING A CHANGE OF USE FROM 2016	30 MONTHERMER ROAD, CATHAYS, CARDIFF, CF24 4RA	48	True	Permission be granted	25/09/2019
19/02034/MNR	19/07/2019	Usman	CHANGE OF USE FROM A1 TO A3 - CHANGE TO TEA ROOM ALSO SELLING HOT/COLD SNACKS	FRONT, 142 CRWYS ROAD, CATHAYS, CARDIFF, CF24 4NR	70	False	Permission be granted	27/09/2019
19/02219/MNR	09/08/2019	Piazza Estates Ltd	VARIATION OF CONDITION 2 OF 18/02621/MNR TO VARY THE USE FORM A1/A3 TO A3 ONLY	103 CATHAYS TERRACE, CATHAYS, CARDIFF, CF24 4XQ	31	True	Permission be granted	09/09/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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17/01013/MJR	08/05/2017	BDW Homes	DISCHARGE OF CONDITIONS 11 (PHASING PLAN), 13 (PUBLIC ART STRATEGY), 14 (ARBORICULTURAL STRATEGY), 15 (SOIL RESOURCE SURVEY), 16 GREEN INFRASTRUCTURE MANAGEMENT STRATEGY), 18 (FOUL WATER DISPOSAL), 19 (SURFACE WATER DRAINAGE), 20 (CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN), 21 (HIGHWAY LANDSCAPING), 25 (ACOUSTIC REPORT) AND 27 ENERGY STRATEGY) OF 16/00106/MJR - For information - the amended information consultation relates to condition 13 only.	GOITRE FACH FARM, LLANTRISANT ROAD, ST FAGANS, CARDIFF, CF5 6JD	870	False	Full Discharge of Condition	25/09/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02150/DCH	07/08/2019	williams	SINGLE STOREY REAR WRAP AROUND EXTENSION	2 BEATTY AVENUE, ROATH PARK, CARDIFF, CF23 5QT	48	True	Permission be granted	24/09/2019
19/02255/DCH	14/08/2019	McIntyre	TWO STORY SIDE AND ONE STORY REAR EXTENSION	34 FIDLAS AVENUE, CYNCOED, CARDIFF, CF14 0NY	44	True	Permission be granted	27/09/2019
19/02050/DCH	22/07/2019	THOMAS	SIDE AND REAR SINGLE STOREY EXTENSION, LOFT CONVERSION WITH REAR DORMER AND FRONT PORCH	28 CARNEGIE DRIVE, LAKESIDE, CARDIFF, CF23 6DH	43	True	Permission be granted	03/09/2019
19/01727/DCH	26/07/2019	Ms Yapp	GROUND FLOOR REAR AND TWO STOREY SIDE EXTENSION PLUS REAR DORMER LOFT CONVERSION AND FRONT HALL EXTENSION	10 LLYN CLOSE, LAKESIDE, CARDIFF, CF23 6LG	53	True	Permission be granted	17/09/2019
19/01699/DCH	10/06/2019	McCARTY	PROPOSED DORMER LOFT EXTENSION AND ALTERATIONS TO ROOF, NEW SINGLE GARAGE AND OTHER ALTERATIONS TO PROPERTY	221 LAKE ROAD WEST, ROATH PARK, CARDIFF, CF23 5QY	101	False	Permission be granted	19/09/2019

19/02517/DCH	13/09/2019	Dr Ali Helu	CERTIFICATE OF LAWFULNESS APPLICATION FOR THE PROPOSED USE OF A REAR DORMER TO MAIN ROOF AND A CHANGE OF MAINROOF FROM A HIPPED TO A GABLE END	1 THE FAIRWAY, CYNCOED, CARDIFF, CF23 6RF	10	True	Permission be granted	23/09/2019
19/02320/DCH	28/08/2019	Willey	REMOVAL OF EXISTING GARAGE AND CONSTRUCTION OF A TWO STOREY SIDE EXTENSION	48 WOOLASTON AVENUE, LAKESIDE, CARDIFF, CF23 6HA	27	True	Permission be granted	24/09/2019

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19/01881/DCH	02/07/2019	Aktar	A SINGLE STOREY EXTENSION TO THE REAR OF THE EXISTING HOUSE	57 DEERE ROAD, ELY, CARDIFF, CF5 4NF	78	False	Permission be granted	18/09/2019
19/02109/DCH	29/07/2019	COX	ERECTION OF SINGLE STOREY EXTENSION TO REAR, AND SINGLE STOREY EXTENSION TO SIDE OF PROPERTY	14 BARNWOOD CRESCENT, ELY, CARDIFF, CF5 4TA	37	True	Permission be granted	04/09/2019

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19/02024/MNR	25/07/2019	ACE	ALTERATION AND EXTENSION OF EXISTING COMMUNITY CENTRE TO PROVIDE ADDITIONAL ACCOMMODATION TO BE USED FOR THE DELIVERY OF COMMUNITY BASED PROJECTS	THE DUSTY FORGE CENTRE, 460 COWBRIDGE ROAD WEST, ELY, CARDIFF, CF5 5BZ	49	True	Permission be granted	12/09/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02104/DCH	02/08/2019	SUDDIQUE	SINGLE STOREY REAR EXTENSION	25 CAERLEON ROAD, MYNACHDY, CARDIFF, CF14 3DR	41	True	Permission be granted	12/09/2019

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19/02200/MJR	16/08/2019	Strathclyde Pension Fund	CREATION OF A MEZZANINE FLOOR OF 1,677 SQ.M (GROSS INTERNAL AREA) WITHIN UNIT A, WESTERN AVENUE RETAIL PARK TO BE USED AS A GYM (USE CLASS D2)	UNIT A, EXCELSIOR ROAD, GABALFA, CARDIFF, CF14 3AT	39	True	Permission be granted	24/09/2019

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19/02199/MNR	16/08/2019	Strathclyde Pension Fund	VARIATION OF CONDITION 2 OF 17/01331/MNR FACILITATE THE CONVERSION OF THE GROUND FLOOR OF UNIT A FOR THE OCCUPATION BY A VARIETY RETAILER	UNIT A, EXCELSIOR ROAD, GABALFA, CARDIFF, CF14 3AT	41	True	Permission be granted	26/09/2019
19/01402/MNR	09/05/2019	Guy	DISCHARGE OF CONDITION 4 (NOISE REPORT) OF 16/01852/MNR	184 NORTH ROAD, GABALFA, CARDIFF, CF14 3BJ	124	False	Refuse to Discharge	10/09/2019
19/01869/MNR	04/07/2019	Vedmore	CHANGE OF USE FROM A1 RETAIL TO CHILDCARE FACILITY	140 WHITCHURCH ROAD, GABALFA, CARDIFF, CF14 3LZ	62	False	Permission be granted	04/09/2019
19/02161/MNR	08/08/2019	Rowlands	CONVERSION FROM A DWELLING (C3) INTO A HOUSE IN MULTIPLE OCCUPATION DWELLING (C4)	77 CLODIEN AVENUE, GABALFA, CARDIFF, CF14 3NL	28	True	Permission be granted	05/09/2019

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19/02070/DCH	15/08/2019	Mohammed	REAR SINGLE EXTENTION	64 OAKLEY PLACE, GRANGETOWN, CARDIFF, CF11 7EW	34	True	Permission be granted	18/09/2019

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19/01991/MNR	16/07/2019	Doyne	REAR DORMER EXTENSION	21 COEDCAE STREET, GRANGETOWN, CARDIFF, CF11 7AA	65	False	Permission be granted	19/09/2019
19/01690/MNR	23/07/2019	Alexandra Bay Management Company Ltd	TO PROVIDE RAILINGS AND GATES TO IMPROVE SITE SECURITY ON PRIVATE LAND	BURFORD GARDENS, GRANGETOWN	48	True	Permission be granted	09/09/2019
19/01953/MNR	16/07/2019	Notemachine UK Ltd	THE RETROSPECTIVE APPLICATION FOR THE INSTALLATION OF AN ATM INSTALLED THROUGH A SECURE PANEL TO THE RIGHT HAND SIDE OF THE SHOP ENTRANCE	5-7 CLIVE STREET, GRANGETOWN, CARDIFF, CF11 7HJ	56	True	Permission be granted	10/09/2019
A/19/00086/MNR	16/07/2019	Notemachine UK Ltd	INTEGRAL ILLUMINATION AND SCREEN TO THE ATM FASCIA INTERNALLY ILLUMINATED FREE CASH WITHDRAWALS SIGN ABOVE THE ATM BLUE LED HALO ILLUMINATION TO THE SURROUND	5-7 CLIVE STREET, GRANGETOWN, CARDIFF, CF11 7HJ	56	True	Permission be granted	10/09/2019
19/02069/MNR	23/07/2019	Wm Morrison Supermarkets PLC	DISCHARGE OF CONDITIONS 3 (CYCLE PARKING SPACES); 4 (DETAILS OF FOOTWAY LINK); 13 (LANDSCAPING SCHEME) AND 15 (SURFACE WATER DRAINAGE DETAILS) OF PLANNING PERMISSION 18/02205/MNR	WM MORRISONS, INTERNATIONAL DRIVE, GRANGETOWN, CARDIFF, CF11 0JP	65	False	Full Discharge of Condition	26/09/2019

19/02236/MNR	12/08/2019	Rathore	THE CHANGE OF USE FROM A1 TO A3 CAFE TO SERVE COFFEE & ICE CREAM AND HOT/COLD FOOD	UNIT 4, 162-168 PENARTH ROAD, GRANGETOWN, CARDIFF, CF11 6NJ	36	True	Permission be granted	17/09/2019
19/02268/MNR	22/08/2019	KANTHABALAN	DEMOLITION OF EXISTING PREMISES AND CONSTRUCTION OF NEW PROPERTY CONTAINING THREE SELF CONTAINED FLATS	58 COURT ROAD, GRANGETOWN, CARDIFF, CF11 6SD	33	True	Permission be granted	24/09/2019
19/02336/MNR	06/09/2019	Bari	SINGLE DUPLEX FLAT TO OCCUPY THE FIRST FLOOR AND ROOF SPACE. THE GROUND FLOOR FLAT (WITH A SINGLE STOREY REAR EXTENSION) IS TO REMAIN AS APPROVED ORIGINAL SCHEME 18/00904/MNR.	35 CLARE ROAD, GRANGETOWN, CARDIFF, CF11 6QP	13	True	Permission be granted	19/09/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02106/DCH	01/08/2019	North	DEMOLISH A SINGLE STOREY STRUCTURE TO THE REAR OF THE PROPERTY AND CONSTRUCT A NEW SINGLE STOREY STRUCTURE	4 ALLENSBANK ROAD, HEATH, CARDIFF, CF14 3RB	42	True	Permission be granted	12/09/2019
19/02119/DCH	30/07/2019	Edwards	DEMOLITION OF EXISTING SINGLE STOREY REAR WING AND CONSTRUCTION OF A NEW SINGLE STOREY REAR EXTENSION AND MINOR INTERNAL ALTERATIONS	11 CRYSTAL AVENUE, HEATH, CARDIFF, CF23 5QJ	44	True	Permission be granted	12/09/2019
19/01906/DCH	05/07/2019	Windos	TO INCREASE HEIGHT OF EXISTING GARAGE ROOF TO NO MORE THAN 3METRES AT THE HIGHEST POINT.	REAR OF 207A CAERPHILLY ROAD, BIRCHGROVE, CARDIFF, CF14 4QD	60	False	Permission be granted	03/09/2019
19/01983/DCH	30/07/2019	Lester	SINGLE STOREY EXTENSION TO SIDE AND HIP TO GABLE ROOF EXTENSION WITH REAR DORMER AND JULIET BALCONY TO REAR	7 CEFN CARNAU ROAD, HEATH, CARDIFF, CF14 4LZ	51	True	Permission be granted	19/09/2019

19/02103/DCH	29/07/2019	George	PROPOSED FIRST FLOOR EXTENSION	70 HOMELANDS ROAD, BIRCHGROVE, CARDIFF, CF14 1UJ	36	True	Permission be granted	03/09/2019
19/02262/DCH	19/08/2019	Palmer-Smith	PROPOSED SIDE GABLE END BUILD UP, WITH REAR DORMER AND FRONT ROOF LIGHT	112 HEATHWOOD ROAD, HEATH, CARDIFF, CF14 4BQ	29	True	Permission be granted	17/09/2019
19/02223/DCH	13/08/2019	Mr Jones	GROUND FLOOR REAR EXTENSION PLUS REAR DORMER LOFT CONVERSION WITH HIP TO GABLE AND ALTERATIONS	46 CRYSTAL WOOD ROAD, HEATH, CARDIFF, CF14 4HW	36	True	Permission be granted	18/09/2019

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19/02357/MNR	28/08/2019	Wates Residential	NON-MATERIAL AMMENDMENT TO REWORD CONDITION 15 OF 17/02464/MJR TO READ "THE TEMPORARY GARDEN CENTRE CAR PARKING SHALL BE PROVIDED IN ACCORDANCE WITH THE HIGHFIELDS SEGREGATION PLANS - MAIN WORKS REV C OR ANY SUBSEQUENTLY ALTERED PLAN WHICH IS SUBMITTED AND APPROVED BY THE LOCAL PLANNING AUTHORITY. THE GARDEN CENTRE PARKING, IDENTIFIED ON DRAWING 3511_C_003 REV J, SHALL THEN BE CONSTRUCTED IN ACCORDANCE WITH THAT DRAWING PRIOR TO THE DEVELOPMENT BEING BROUGHT INTO BENEFICIAL USE"	FORMER HIGHFIELDS CENTRE, 18 ALLENSBANK ROAD, HEATH, CARDIFF, CF14 3RB	5	True	Permission be granted	02/09/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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19/02051/DCH	24/07/2019	Rowe	SINGLE STOREY REAR EXTENSION WITH ASSOCIATED WORKS	BROOKFIELD, CEFN MABLY ROAD, LISVANE, CARDIFF, CF14 0SP	41	True	Permission be granted	03/09/2019
19/01824/DCH	21/06/2019	Jenkins	GARDEN ROOM AND ASSOCIATED WORKS	46 HEOL Y DELYN, LISVANE, CARDIFF, CF14 0SR	80	False	Planning Permission be refused	09/09/2019
19/02011/DCH	22/07/2019	Shafiq_UI Hasasan	GARAGE CONVERSION, NEW WINDOW TO FRONT ELEVATION, REPLACEMENT PORCH & NEW FIRST FLOOR BATHROOM EXTENSION TO THE REAR OF THE PROPERTY	18 HOLLY GROVE, LISVANE, CARDIFF, CF14 0UJ	57	False	Permission be granted	17/09/2019

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19/02243/MNR	15/08/2019	LACEY	PROPOSED ALTERATION OF APPROVED DWELLING TO INCLUDE REAR CONSERVATORY EXTENSION	32 HEOL NANT GLANDULAS, LISVANE, CARDIFF, CF14 0PQ	42	True	Permission be granted	26/09/2019
19/02392/MJR	02/09/2019	Waterstone Homes Ltd.	NON-MATERIAL AMENDMENT IN RESPECT OF THE WORDING OF CONDITION 19 APPROVED UNDER 18/01439/MJR	1 RUDRY ROAD, LISVANE, CARDIFF, CF14 0SN	7	True	Permission be granted	09/09/2019
19/02364/MNR	04/09/2019	Banfield	FRONT ROOF OVER GARAGE IS PROPOSED TO BE FLAT ROOF WITH ATRIUM AND NOT PITCHED AS PREVIOUSLY APPROVED UNDER 19/01686/DCH	38 MILLWOOD, LISVANE, CARDIFF, CF14 0TL	21	True	Permission be granted	25/09/2019

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19/01945/DCH	16/07/2019	Parker	PROPOSED DOUBLE STOREY SIDE EXTENSION (ROOMS IN THE ROOF) TO PROVIDE ADDITIONAL BEDROOM AT FIRST FLOOR LEVEL AND LIVING SPACE AT GROUND FLOOR. DETACHED GARAGE TO THE REAR OF THE SITE ADJACENT THE NEIGHBOURING PROPERTY AND RETENTION OF FENCE.	29 NORWOOD, LLANISHEN, CARDIFF, CF14 9DE	64	False	Permission be granted	18/09/2019
19/02187/DCH	06/08/2019	Johnson	PROPOSED SINGLE STOREY SIDE/REAR EXTENSION	53 HEOL Y BARCUD, THORNHILL, CARDIFF, CF14 9JB	43	True	Permission be granted	18/09/2019
19/02108/DCH	29/07/2019	Griffiths	PROPOSED TWO STOREY SIDE AND SINGLE STOREY REAR HOUSE EXTENSION	126 OAKRIDGE, THORNHILL, CARDIFF, CF14 9BY	52	True	Permission be granted	19/09/2019
19/02305/DCH	21/08/2019	Hawkes	PROPOSED SINGLE STOREY EXTENSION TO SIDE AND REAR FACING DORMER TO BEDROOM	61 STATION ROAD, LLANISHEN, CARDIFF, CF14 5UT	36	True	Permission be granted	26/09/2019
19/02312/DCH	20/08/2019	Roberts	CONSTRUCTION OF SINGLE STOREY LEAN-TO REAR EXTENSION AND ASSOCIATED LANDSCAPING WORKS	2 SHAFTESBURY CLOSE, THORNHILL, CARDIFF, CF14 9EJ	35	True	Permission be granted	24/09/2019
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02028/MNR	18/07/2019	Cardiff Council	PROPOSED TWO EXTENSIONS ALONG WITH REMOVAL OF AN EXISTING DEMOUNTABLE UNIT	YSGOL Y WERN, LLANGRANOG ROAD, LLANISHEN, CARDIFF, CF14 5BL	63	False	Permission be granted	19/09/2019
19/01988/MNR	15/07/2019	Dwr Cymru Welsh Water - Capital Delivery Alliance	REFURBISHMENT OF OPERATIONAL ASSETS: NEW PIPE DISCHARGE INTO SCOUR CHANNEL SUMP CHAMBER, ASSOCIATED WITH THE INFRASTRUCTURE TO TRANSFER 'CELSA' WATER SUPPLY FROM LISVANE TO LLANISHEN RESERVOIR	LLANISHEN RESEVOIR, LISVANE ROAD, LISVANE, CARDIFF, CF14 0SA	56	True	Permission be granted	09/09/2019
19/02007/MNR	17/07/2019	Santochirico	CHANGE OF USE FROM CLASS C3 DWELLING TO CLASS C4 HOUSE IN MULTIPLE OCCUPATION.	63 LLANON ROAD, LLANISHEN, CARDIFF, CF14 5AG	54	True	Permission be granted	09/09/2019

19/01317/MNR	29/04/2019	Vlachidis	CONSTRUCTION OF A DETACHED TWO STOREY BUILDING TO HOUSE 2 SELF CONTAINED FLATS AND PROVISION OF A DRIVE TO 1 HEOL GWYNDAF.	LAND AT 1 HEOL GWYNDAF, LLANISHEN, CARDIFF, CF14 5QB	128	False	Permission be granted	04/09/2019
19/02174/MNR	09/08/2019	Jenco Developments	DEMOLITION OF SINGLE STOREY SIDE EXTENSION TO 17 PORTFIELD CRESCENT. CONSTRUCTION OF NEW DWELLING WITH OFF STREET PARKING AND CREATION OF 2 OFF STREET PARKING SPACES FOR THE EXISTING HOUSE AT 17 PORTFIELD CRESCENT	PART OF LAND AT 17 PORTFIELD CRESCENT, LLANISHEN, CARDIFF, CF14 5QE	40	True	Permission be granted	18/09/2019
19/02191/MNR	14/08/2019	Toolstation Ltd	EXTERNAL ALTERATIONS	UNIT 4 AND 5, CARDIFF INDUSTRIAL PARK, MALVERN DRIVE, LLANISHEN, CARDIFF, CF14 5DR	30	True	Permission be granted	13/09/2019
A/19/00100/MNR	20/08/2019	FI Real Estate Management	THE ERECTION OF A SIGNAGE TOTEM IN 2 LOCATIONS AT THE ENTRANCE TO THE UNITS CAR PARK	UNIT 24 TO 30, CARDIFF BUSINESS PARK, LAMBOURNE CRESCENT, LLANISHEN, CARDIFF, CF14 5GF	20	True	Permission be granted	09/09/2019

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19/02367/DCH		Phillips	SINGLE STOREY REAR EXTENSION	5 THISTLE WAY, LLANDAFF, CARDIFF, CF5 2BU			Permission be granted	04/09/2019
19/02098/DCH	26/07/2019	Mr & Mrs SD Russell	TWO STOREY SIDE EXTENSION	6 HENDRE CLOSE, LLANDAFF, CARDIFF, CF5 2HT	53	True	Permission be granted	17/09/2019

19/01599/DCH	12/06/2019	Hopkins	PROPOSED REAR SINGLE STOREY EXTENSION WITH A VELUX ROOFLIGHT CHANGED TO A DORMER WINDOW ON THE REAR MAIN ROOF	17 THE CATHEDRAL GREEN, LLANDAFF, CARDIFF, CF5 2EB	99	False	Permission be granted	19/09/2019
19/01600/DCH	31/05/2019	Hopkins	PROPOSED REAR SINGLE STOREY EXTENSION WITH A VELUX ROOFLIGHT CHANGED TO A DORMER WINDOW ON THE REAR MAIN ROOF	17 THE CATHEDRAL GREEN, LLANDAFF, CARDIFF, CF5 2EB	111	False	Permission be granted	19/09/2019
19/02316/DCH	21/08/2019	Hooper-Nash	PROPOSED NEW REAR LEAN TO EXTENSION ACROSS THE BACK OF THE HOUSE TO REPLACE THE CURRENT KITCHEN AND CONSERVATORY EXTENSION	32 FAIRWATER GROVE EAST, LLANDAFF, CARDIFF, CF5 2JU	36	True	Permission be granted	26/09/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02120/DCH	08/08/2019	Bancroft	NEW CROSSOVER	137 COLLEGE ROAD, LLANDAFF NORTH, CARDIFF, CF14 2NS	48	True	Permission be granted	25/09/2019
19/00427/DCH	28/02/2019	Forsythe	SINGLE STOREY REAR EXTENSION	117 TY-MAWR ROAD, LLANDAFF NORTH, CARDIFF, CF14 2FP	202	False	Permission be granted	18/09/2019
19/02099/DCH	31/07/2019	Mrs Mukta Uddin	SINGLE STOREY REAR AND SIDE EXTENSIONS	184 MYNACHDY ROAD, MYNACHDY, CARDIFF, CF14 3HN	43	True	Permission be granted	12/09/2019
19/02360/DCH	29/08/2019	Parry-Owens	REAR ELEVATION DORMER EXTENSION	11 LYDSTEP CRESCENT, LLANDAFF NORTH, CARDIFF, CF14 2QY	29	True	Permission be granted	27/09/2019

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19/00254/MJR	08/02/2019	HOLBROOK CONSTRUCTION	DISCHARGE OF CONDITIONS 5 (TREES) AND 10 (REMEDIATION SCHEME) OF 16/01779/MJR	CATHEDRAL VIEW, 95 GABALFA AVENUE, GABALFA, CARDIFF, CF14 2RU	221	False	Full Discharge of Condition	17/09/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02318/DCH	02/09/2019	Newling	CONVERSION OF ROOF SPACE TO HABITABLE ROOM TO INCLUDE HIP TO GABLE BUILD-UP AND REAR DORMER	102 RIDGEWAY ROAD, LLANRUMNEY, CARDIFF, CF3 4AB	22	True	Permission be granted	24/09/2019
19/02294/DCH	19/08/2019	Edwards	SINGLE STOREY REAR EXTENSION	135 COUNTISBURY AVENUE, LLANRUMNEY, CARDIFF, CF3 5RQ	38	True	Permission be granted	26/09/2019

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19/01947/MNR	11/07/2019	O'Brien	PROPOSED TWO NEW DWELLINGS AND ASSOCIATED CAR PARKING	PART OF LAND AT 4 AND 4A BALL LANE, LLANRUMNEY, CARDIFF, CF3 4JS	54	True	Permission be granted	03/09/2019

PENT

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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19/02047/DCH	22/07/2019	evans	VARIATION OF CONDITION 2 OF 18/01129/DCH TO ALLOW SUBSTITUTION OF PLANS	17 WYNCLIFFE GARDENS, PENTWYN, CARDIFF, CF23 7FA	58	False	Permission be granted	18/09/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/00657/DCH	18/03/2019	Govier	REAR DORMER WITH JULIET BALCONY	48 KIMBERLEY ROAD, PENYLAN, CARDIFF, CF23 5DL	184	False	Permission be granted	18/09/2019
19/02081/DCH	26/07/2019	Morris & Jones	PROPOSED LOFT CONVERSION WITH REAR DORMERS AND FRONT ROOF LIGHTS	18 MAFEKING ROAD, PENYLAN, CARDIFF, CF23 5DQ	63	False	Planning Permission be refused	27/09/2019
19/02240/DCH	16/08/2019	Madjlessi	DEVELOPMENT OF NEW DECKING FOR REAR GARDEN	11 GRAFTON CLOSE, PENYLAN, CARDIFF, CF23 9JA	45	True	Permission be granted	30/09/2019
19/02218/DCH	12/08/2019	Jones	LOFT CONVERSION INCORPORATING A FLAT ROOF REAR DORMER, TILED TO MATCH THE EXISTING ROOF. TWO X VELUX WINDOWS TO THE FRONT ELEVATION, TWO UPVC WINDOWS IN THE REAR DORMER	20 AXMINSTER ROAD, ROATH, CARDIFF, CF23 5AR	31	True	Permission be granted	12/09/2019
19/02165/DCH	05/08/2019	Evans	ERECTION OF A SINGLE STOREY INFILL EXTENSION TO PROVIDE AN EXTENDED KITCHEN AND DINING AREA AT THE REAR OF THE PROPERTY	52 TY-DRAW ROAD, PENYLAN, CARDIFF, CF23 5HD	30	True	Permission be granted	04/09/2019
19/02337/DCH	23/08/2019	Beresford	PROPOSED SINGLE STOREY UTILITY ROOM EXTENSION TO REAR OF PROPERTY	82 CYNCOED ROAD, PENYLAN, CARDIFF, CF23 5SH	34	True	Permission be granted	26/09/2019

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19/02237/MJR	13/08/2019	Cardiff Community Housing Association (CCHA)	MINOR ALTERATIONS TO DESIGN - PREVIOUSLY APPROVED UNDER 12/01240/DCO	LAND TO WEST OF EQUINOX, COLCHESTER AVENUE, PENYLAN	28	True	Permission be granted	10/09/2019
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19/02166/MNR	07/08/2019	CDS (Superstores International) Ltd	VARIATION OF CONDITION 3 OF 16/02628/MNR TO INCLUDE THE FOLLOWING "NO MORE THAN 300 SQUARE METRES OF RETAIL FLOORSPACE SHALL BE USED FOR THE SALE OF FOOD AND DRINK"	372 NEWPORT ROAD, PENYLAN, CARDIFF, CF23 9AE	41	True	Permission be granted	17/09/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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19/02022/DCH	18/07/2019	IWAN	SINGLE STOREY EXTENSION TO ENLARGE KITCHEN	4 WORDSWORTH AVENUE, ROATH, CARDIFF, CF24 3FQ	62	False	Permission be granted	18/09/2019
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19/02112/DCH	29/07/2019	HAMOOD	FIRST FLOOR REAR/SIDE EXTENSION	FLAT 3, 67 OAKFIELD STREET, ROATH, CARDIFF, CF24 3RF	52	True	Planning Permission be refused	19/09/2019
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19/01905/DCH	05/08/2019	Shilawi	FIRST FLOOR EXTENSION AND ALTERATIONS	COACH HOUSE, REAR OF 61, GLENROY STREET, ROATH, CARDIFF, CF24 3JX	45	True	Planning Permission be refused	19/09/2019
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19/01989/DCH	15/07/2019	Black	VARIATION OF CONDITION 2 OF 17/03075/DCH TO ALLOW THE SUBSTITUTION OF PLANS AMENDING THE APPROVED SINGLE STOREY EXTENSION DESIGN	48 ARABELLA STREET, ROATH, CARDIFF, CF24 4TA	73	False	Permission be granted	26/09/2019
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19/02097/MNR	29/07/2019	Lloyds Bank plc	THE REPLACEMENT OF ONE EXTERNAL ATM AND THE PERMANENT REMOVAL OF ONE EXTERNAL ATM WITH THE APERTURE INFILLED	UNIT 1 TO 4, THE GLOBE CENTRE, WELLFIELD ROAD, ROATH, CARDIFF, CF24 3PE	56	True	Permission be granted	23/09/2019
19/01551/MNR	23/05/2019	Mr Ghaffar	GROUND FLOOR REAR/SIDE EXTENSION REAR DORMER AND CONVERSION TO TWO FLATS	1 LAKE ROAD WEST, ROATH, CARDIFF, CF23 5PG	123	False	Permission be granted	23/09/2019
19/02215/MNR	08/08/2019	Mr Salih	EXISTING USE OF 5 FLATS - PREVIOUSLY APPROVED FOR 4 FLATS	117 RICHMOND ROAD, ROATH, CARDIFF, CF24 3BS	42	True	Permission be granted	19/09/2019
19/02242/MNR	12/08/2019	Copper Kite Delopements Ltd	CONSTRUCTION OF A NEW TWO BEDROOM COACH HOUSE TO THE REAR OF NO.6, PARTRIDGE ROAD TOGETHER WITH EXTERNAL WORKS	6 PARTRIDGE ROAD, ROATH, CARDIFF, CF24 3QX	49	True	Planning Permission be refused	30/09/2019
19/00979/MNR	28/03/2019	Jain Estates Ltd	CONVERSION TO 6 NO. SELF CONTAINED FLATS WITH DORMERS IN REAR ANNEXE AND MINOR ALTERATIONS	38 ALBANY ROAD, ROATH, CARDIFF, CF24 3RQ	183	False	Permission be granted	27/09/2019
19/01948/MNR	11/07/2019	Khalid	CHANGE OF USE OF GROUND FLOOR FROM BEAUTY PARLOUR TO A HOT AND COLD DESSERT RESTAURANT AND NEW FLUE TO REAR	126 CITY ROAD, ROATH, CARDIFF, CF24 3DQ	78	False	Permission be granted	27/09/2019
19/02189/MNR	07/08/2019	VANNES ESTATES	SINGLE STOREY REAR EXTENSION, SIDE DORMER TO ANNEXE BUILDING TO CONVERT 9 BED DWELLING INTO FOUR SELF CONTAINED FLATS	72 RICHMOND ROAD, ROATH, CARDIFF, CF24 3AT	50	True	Permission be granted	26/09/2019
18/02099/MNR	25/09/2018	Wolfson Capital Ltd	CONVERSION OF PROPERTY INTO THREE FLATS WITH SINGLE STOREY REAR EXTENSION AND EXTERNAL ALTERATIONS	173B NEWPORT ROAD, ROATH, CARDIFF, CF24 1AH	359	False	Permission be granted	19/09/2019

18/02101/MNR	25/09/2018	Wolfson Capital Ltd	CONVERSION OF PROPERTY INTO FIVE SELF CONTAINED FLATS WITH LOFT CONVERSION INCLUDING REAR DORMER AND EXTERNAL ALTERATIONS.	173A NEWPORT ROAD, ROATH, CARDIFF, CF24 1AH	359	False	Permission be granted	19/09/2019
19/01255/MNR	09/05/2019	Mr Hosseini	GROUND FLOOR REAR EXTENSIONS REAR AND SIDE DORMER AND CONVERSION FROM TWO TO FOUR FLATS	147 ALBANY ROAD, ROATH, CARDIFF, CF24 3NT	130	False	Permission be granted	16/09/2019
19/01581/MNR	30/05/2019	HAKIEM	VARIATION OF CONDITION 2 OF 17/01245/MNR TO ALLOW REVISED DRAWINGS TO REPLACE THE EXISTING APPROVED DRAWINGS	27 MACKINTOSH PLACE, ROATH, CARDIFF, CF24 4RJ	110	False	Permission be granted	17/09/2019
19/01806/MNR	19/06/2019	Mr Shafqat Ali	FIRST FLOOR AND SINGLE STOREY REAR EXTENSIONS AND SIDE DORMER TO NO 70 WITH INTERNAL AND EXTERNAL ALTERATIONS	ISLAMIC CENTRE, 68-70 CONNAUGHT ROAD, ROATH, CARDIFF, CF24 3PX	89	False	Permission be granted	16/09/2019
19/01890/MNR	04/07/2019	Norton	INSTALLATION OF 2 NO. TEMPORARY SINGLE STOREY PORTAKABIN BUILDINGS TO BE USED AS ADDITIONAL CLASSROOMS/OFFICES, TO BE HIRED FOR A PERIOD OF 260 WEEKS	KINGS MONKTON SCHOOL, WEST GROVE, ROATH, CARDIFF, CF24 3XL	74	False	Permission be granted	16/09/2019
19/01276/MNR	23/04/2019	Imperial Services	CONVERSION OF PROPERTY WITH 3 SELF CONTAINED FLATS TO 4 SELF CONTAINED FLATS WITH SINGLE STOREY SIDE EXTENSION CHANGE PITCH MAINROOF TO A GABLE END AND REAR DORMER WITH EXTERNAL ALTERATIONS	23 NORTHCOTE STREET, ROATH	140	False	Planning Permission be refused	10/09/2019
19/01987/MNR	15/07/2019	Humphreys	CHANGE OF USE OF EXISTING BUILDING (UNIT 2) FROM USE CLASS B1 (BUSINESS) TO USE CLASS D1 (NON-RESIDENTIAL INSTITUTION)	1-3 TRINITY COURT, 21-27 NEWPORT ROAD, ROATH, CARDIFF, CF24 0AA	56	True	Permission be granted	09/09/2019
19/02283/MNR	19/08/2019	Mr Mateen Shirazi	CONVERSION OF UPPER FLOORS OF MAIN BUILDING FROM 6 BED FLAT INTO TWO 2 BED SELF CONTAINED FLATS WITH EXTERNAL ALTERATIONS	177 CITY ROAD, ROATH, CARDIFF, CF24 3JB	38	True	Permission be granted	26/09/2019

19/02332/MNR	23/08/2019	Sports Performance Services Ltd	REDUCTION IN SIZE OF PROPOSED 3 STORY REAR ANNEX AND CHANGES TO INTERNAL LAYOUTS - PREVIOUSLY APPROVED UNDER 17/02425/MNR	33 THE PARADE, ROATH, CARDIFF, CF24 3AD	26	True	Permission be granted	18/09/2019
19/02216/MNR	09/08/2019	Neon Property Ltd	RETENTION OF CHANGE OF USE FROM OFFICES ON 1ST & 2ND FLOORS TO 2 BEDROOM FLAT FOR RESIDENTIAL USE	28 ALBANY ROAD, ROATH, CARDIFF, CF24 3RQ	34	True	Permission be granted	12/09/2019

PON

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01572/DCH	30/05/2019	Rowe	1ST FLOOR EXTENSION TO THE REAR OF THE DWELLING	SOUTHFIELDS, BEGAN ROAD, OLD ST MELLONS, CARDIFF, CF3 6XJ	104	False	Permission be granted	11/09/2019
19/01348/DCH	09/05/2019	Immanuel	REVISION TO SCHEME CONSIDERED UNDER CERTIFICATE OF LAWFUL DEVELOPMENT 18/00698/DCH. PROPOSED REAR DORMER EXTENSION TO BUNGALOW WITH SINGLE STOREY, FLAT ROOF, REAR EXTENSION TO ACCOMMODATE SWIMMING POOL	KADINA, BRIDGE ROAD, OLD ST MELLONS, CARDIFF, CF3 6UY	133	False	Permission be granted	19/09/2019
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/00235/MJR	07/02/2019	Persimmon Homes	PHASE 6 OF ST EDEYRNS VILLAGE COMPRISING OF 145 DWELLINGS WITH ASSOCIATED LANDSCAPING, LAND RE-PROFILING, ACCESS AND HIGHWAY WORKS	PHASE 6, LAND EAST OFF CHURCH ROAD AND NORTH AND SOUTH OF, BRIDGE ROAD, OLD ST MELLONS	224	False	Permission be granted	19/09/2019

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19/00596/MNR	27/03/2019	S Das	NEW DETACHED DWELLING	PART OF LAND AT 20 RUPERRA CLOSE, OLD ST MELLONS, CARDIFF, CF3 6HX	170	False	Planning Permission be refused	13/09/2019

PYCH

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01135/DCH	10/04/2019	Dorrington	NEW SINGLE STOREY EXTENSION TO REAR OF PROPERTY	9 BRONLLWYN, PENTYRCH, CARDIFF, CF15 9QL	160	False	Permission be granted	17/09/2019
19/02155/DCH	06/08/2019	Smith	SINGLE STOREY REAR KITCHEN EXTENSION WITH ALTERATIONS TO THE STEP ACCESS TO THE GARDEN WHICH IS AT A HIGHER LEVEL	3 PRIMROSE COTTAGES, MAIN ROAD, GWAELOD-Y-GARTH, CARDIFF, CF15 9JB	51	True	Planning Permission be refused	26/09/2019

RADY

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/02101/DCH	29/07/2019	KITCHENER	PROPOSED REAR EXTENSION ABOVE EXISTING SINGLE STOREY EXTENSION	3 WINDSOR CRESCENT, RADYR, CARDIFF, CF15 8AE	52	True	Permission be granted	19/09/2019
19/01879/DCH	15/08/2019	Powell	SINGLE STOREY REAR EXTENSION WITH ROOF TERRACE OVER	NORTHLANDS, 36 WINDSOR ROAD, RADYR, CARDIFF, CF15 8BQ	35	True	Permission be granted	19/09/2019

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19/02277/MJR	16/08/2019	Redrow Homes	AMENDMENT TO PLOT 100 TO CHANGE THE HOUSE TYPE - PREVIOUSLY APPROVED UNDER 16/02016/MJR	LAND NORTH OF LLANTRISANT ROAD, ADJACENT TO CLOS PARC RADYR, CARDIFF	24	True	Permission be granted	09/09/2019

RHIW

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01609/DCH	31/05/2019	Taverner	RE-SLATING OF MAIN ROOF	32 LON ISA, RHIWBINA, CARDIFF, CF14 6EE	103	False	Permission be granted	11/09/2019
19/02056/DCH	26/07/2019	Vassall	PROPOSED KITCHEN EXTENSION	13 LLWYD COED, PANTMAWR, CARDIFF, CF14 7TT	45	True	Permission be granted	09/09/2019
19/01191/DCH	11/04/2019	Mr Haydn Williams	TWO STOREY SIDE EXTENSION AND SINGLE STOREY FRONT PORCH	155 PEN-Y-DRE, RHIWBINA, CARDIFF, CF14 6EN	146	False	Permission be granted	04/09/2019
19/01305/DCH	16/05/2019	Davies	RETENTION OF 6 FOOT 6 INCHES HIGH FEATHER EDGE FENCE WITH NEW POSTS THROUGHOUT, AROUND THE BORDER OF OUR PROPERTY	14 PEN-Y-GROES ROAD, RHIWBINA, CARDIFF, CF14 4SU	110	False	Planning Permission be refused	03/09/2019
19/02030/DCH	02/08/2019	Champaneri	SINGLE AND FIRST FLOOR EXTENSIONS TO FRONT, SIDE AND REAR WITH BALCONY AND DETACHED GARAGE TO EXISTING HOUSE	HOLLYBANKS, RHIWBINA HILL, RHIWBINA, CARDIFF, CF14 6UF	48	True	Permission be granted	19/09/2019
19/01841/DCH	26/06/2019	Thomas	DEMOLISH EXISTING GARAGE & RE-BUILD, SINGLE STOREY REAR EXTENSION, PROPOSED NEW SIDE ACCESS	9 CEFN NANT, RHIWBINA, CARDIFF, CF14 6SH	84	False	Permission be granted	18/09/2019

19/01732/DCH	24/07/2019	Mr Thomas	REAR DORMER SET BACK 300MM FROM ORIGINAL HOUSE REAR WALL & HIP TO GABLE AND VELUX ROOF LIGHT TO FRONT NOT EXCEEDING 150MM ABOVE ROOF PLANE	HILLCREST, 14 Y GOEDWIG, RHIWBINA, CARDIFF, CF14 6UL	64	False	Permission be granted	26/09/2019
19/02252/DCH	14/08/2019	Bird	PROPOSED EXTENSION TO THE REAR	38 HEOL ISCOED, RHIWBINA, CARDIFF, CF14 6PB	36	True	Permission be granted	19/09/2019
19/02541/DCH	18/09/2019	John	TWO ADDITIONAL WINDOWS TO THE WEST AND EAST ELEVATIONS AND GARDEN GATE TO DRIVE PREVIOUSLY APPROVED UNDER 19/01038/DCH	34 HEOL LLANISHEN FACH, RHIWBINA, CARDIFF, CF14 6LE	9	True	Permission be granted	27/09/2019

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19/01896/MNR	09/07/2019	James Charles Development Ltd	EXTENSIONS AND ALTERATONS INCLUDING DORMERS AND THE RAISING OF THE ROOF RIDGE HEIGHT AND CONVERSION FROM A SINGLE DWELLING TO TWO SEMI DETACHED DORMER BUNGALOWS	177 PEN-Y-DRE, RHIWBINA, CARDIFF, CF14 6EN	72	False	Permission be granted	19/09/2019
19/01912/MNR	15/07/2019	Mr Amo Wong	CONVERSION OF EXISTING GARAGE FOR STORAGE AND A MULTIFUNCTION CLINICAL ROOM	87 BEULAH ROAD, RHIWBINA, CARDIFF, CF14 6LW	56	True	Permission be granted	09/09/2019

RIVE

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19/01978/DCH	15/07/2019	Forey	REMOVE FRONT WALL AND 1 PILLAR TO INSERT A DRIVEWAY	24 ROMILLY CRESCENT, PONTCANNA, CARDIFF, CF11 9NR	56	True	Planning Permission be refused	09/09/2019

19/01849/DCH	08/07/2019	Pinnell	SINGLE STOREY REAR EXTENSIONS TO CREATE LARGER BEDROOM INCLUDING A NEW ROOF LIGHT	FLAT 2, 34 KING'S ROAD, PONTCANNA, CARDIFF, CF11 9DA	59	False	Permission be granted	05/09/2019
19/02080/DCH	24/07/2019	O'Sullivan	SLIDING SASH DOUBLE GLAZED WINDOWS TO ALL FRONT WINDOWS AND BAY WINDOW IN KITCHEN TO REPLACE CURRENT WINDOWS	14 PLASTURTON GARDENS, PONTCANNA, CARDIFF, CF11 9HF	50	True	Permission be granted	12/09/2019
19/01647/DCH	14/06/2019	Davies	SINGLE STOREY REAR AND SIDE EXTENSION WITH INTERNAL ALTERATIONS AND REFURBISHMENT	47 TALBOT STREET, PONTCANNA, CARDIFF, CF11 9BW	97	False	Permission be granted	19/09/2019
19/02195/DCH	12/08/2019	Xu	FRONT FACING DORMER	95 FIELDS PARK ROAD, PONTCANNA, CARDIFF, CF11 9HZ	31	True	Planning Permission be refused	12/09/2019
19/02304/DCH	19/08/2019	Durnell	PROPOSED SINGLE STOREY REAR/SIDE EXTENSION	49 PONTCANNA STREET, PONTCANNA, CARDIFF, CF11 9HR	37	True	Planning Permission be refused	25/09/2019
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16/02954/MNR	05/04/2017	Plaza Property Management Service	CONVERSION OF EXISTING HOUSE TO 2NO FLATS	1 CLARE ROAD, RIVERSIDE, CARDIFF, CF11 6QN	905	False	Planning Permission be refused	27/09/2019
19/01790/MNR	20/06/2019	Alex Gooch Bakery	VARIATION OF CONDITIONS 2 AND 3 OF 18/00401/MNR TO ALLOW OPENING TIMES TO BE MONDAY AND TUESDAY 08:00 TO 18:00, WEDNESDAY, THURSDAY AND FRIDAY 08:00 TO 20:00, SATURDAY 08:00 TO 21:00 AND SUNDAY 10:00 TO 17:00	STORE 1A, 183A KING'S ROAD, PONTCANNA, CARDIFF, CF11 9DF	91	False	Permission be granted	19/09/2019
19/01915/MNR	10/07/2019	219 Ltd	CHANGE OF USE FROM BED AND BREAKFAST TO FAMILY HOME WITH REPLACEMENT EXTENSION, NEW WINDOWS AND ALTERATIONS	144 CATHEDRAL ROAD, PONTCANNA, CARDIFF, CF11 9JB	70	False	Permission be granted	18/09/2019

19/00464/MNR	20/03/2019	Stable Resources	RESTORATION OF STREET FACING VICTORIAN FACADES INCLUDING REMOVAL OF PAINTWORK BACK TO BATH STONE AND REPLACEMENT OF ALL WINDOWS WITH CONSERVATION, PAINTED, TIMBER SASH WINDOWS TO MATCH THE ORIGINAL STYLE. INTERNAL REFURBISHMENT OF EXISTING OFFICE SPACE TO CREATE OPEN PLAN WORK SPACES. DEVELOPMENT OF COURTYARD AND REPLACEMENT OF EXISTING POOR QUALITY PARAPET FLAT ROOF TO SINGLE STOREY ANCILLARY BUILDING WITH NEW PARAPET FLAT ROOF WITH ROOF LIGHTS. NEW IRON GATES AND PART RENDERED WALL TO RYDER STREET COURTYARD ENTRANCE.	1 TALBOT STREET, PONTCANNA, CARDIFF, CF11 9BW	177	False	Permission be granted	13/09/2019
19/01965/MNR	12/07/2019	Cfeleven	RETENTION OF RAISED SURFACE WITH ARTIFICIAL GRASS COVERING	149-151 CATHEDRAL ROAD, PONTCANNA, CARDIFF, CF11 9PJ	59	False	Planning Permission be refused	09/09/2019
19/01946/MNR	10/07/2019	Notemachine UK Ltd	THE RETROSPECTIVE APPLICATION FOR THE INSTALLATION OF AN ATM INSTALLED THROUGH A SECURE PANEL TO THE RIGHT HAND SIDE OF THE SHOP ENTRANCE	10 NEVILLE STREET, RIVERSIDE, CARDIFF, CF11 6LR	55	True	Permission be granted	03/09/2019
A/19/00084/MNR	10/07/2019	Notemachine UK Ltd	INTEGRAL ILLUMINATION AND SCREEN TO THE ATM FASCIA INTERNALLY ILLUMINATED FREE CASH WITHDRAWALS SIGN ABOVE THE ATM BLUE LED HALO ILLUMINATION TO THE SURROUND	10 NEVILLE STREET, RIVERSIDE, CARDIFF, CF11 6LR	55	True	Permission be granted	03/09/2019

RUMN

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19/01565/DCH	28/05/2019	Young	PROPOSED OUTBUILDING TO CREATE PLAY ROOM AND STORE	3 NORTHLANDS, RUMNEY, CARDIFF, CF3 3AQ	111	False	Permission be granted	16/09/2019
19/02256/DCH	15/08/2019	Hewings	REPLACEMENT OF EXISTING BOUNDARY TREATMENT WITH POST AND PANEL FENCE	26 NEW ROAD, RUMNEY, CARDIFF, CF3 3AA	35	True	Permission be granted	19/09/2019

SPLO

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19/01512/DCH	12/08/2019	Singh	SINGLE STOREY REAR EXTENSION	14 TAYMUIR ROAD, TREMORFA, CARDIFF, CF24 2QL	45	True	Permission be granted	26/09/2019
19/02153/MJR	05/08/2019	Mr Matthew Griffin	CHANGE OF USE OF UNIT TO CLASS D2 FOR A NEW INDOOR SPORT COMING TO WALES	6 ST CATHERINES PARK, PENGAM ROAD, TREMORFA, CARDIFF, CF24 2RZ	37	True	Permission be granted	11/09/2019
19/02059/MNR	24/07/2019	Viridor Waste Management Ltd	PORTAKABIN	CARDIFF ENERGY RECOVERY FACILITY, TRIDENT INDUSTRIAL PARK, GLASS AVENUE, SPLOTT	50	True	Permission be granted	12/09/2019

TROW

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19/02124/DCH	31/07/2019	Harris	ENLARGEMENT OF EXISTING SINGLE STOREY TO FRONT ELEVATION	2 CARAWAY CLOSE, ST MELLONS, CARDIFF, CF3 0NF	55	True	Permission be granted	24/09/2019
19/02274/DCH	19/08/2019	Miss Emma Giles	RETENTION OF ROOF TO DECKING	59 MENAI WAY, TROWBRIDGE, CARDIFF, CF3 1RG	30	True	Permission be granted	18/09/2019

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19/02143/MNR	06/08/2019	Tesco Stores Limited	REMOVAL OF CANOPY SYSTEM TO PERIMETER OF SHOPPING ARCADE	TESCOS, ST MELLONS DISTRICT SHOPPING CENTRE, CRICKHOWELL ROAD, ST MELLONS, CARDIFF, CF3 0EF	44	True	Permission be granted	19/09/2019
19/01502/MNR	28/05/2019	East Cardiff Muslim Centre	CHANGE OF USE OF FORMER POLICE STATION (SUI GENERIS USE CLASS) TO CHANGED TO D1 NON-RESIDENTIAL INSTITUTION (MUSLIM PLACE OF WORSHIP) AND TWO STOREY EXTENSION	FORMER ST MELLONS POLICE STATION, CRICKHOWELL ROAD, ST MELLONS, CARDIFF, CF3 0EF	98	False	Permission be granted	03/09/2019
19/01455/MNR	15/07/2019	Ray	CHANGE OF USE OF THE LAND TO A GARDEN AND ALTERATIONS TO THE GROUND LEVELS	101 WILLOWBROOK GARDENS, ST MELLONS, CARDIFF, CF3 0BY	51	True	Permission be granted	04/09/2019

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18/02696/DCH	21/11/2018	Sharland	FIRST FLOOR EXTENSION TO CONVERT BUNGALOW TO HOUSE	3 RUSHBROOK CLOSE, WHITCHURCH, CARDIFF, CF14 2BN	286	False	Permission be granted	03/09/2019
19/02054/DCH	23/07/2019	Phil Williams	RENEWAL OF PLANNING PERMISSION 14/00745/DCH - ALTERATIONS AND EXTENSIONS TO EXISTING BUNGALOW	6 CLAS YORATH, WHITCHURCH, CARDIFF, CF14 1QG	52	True	Permission be granted	13/09/2019
19/02100/DCH	01/08/2019	Harding	DEMOLISH EXISTING SINGLE STOREY EXTENSION, CONSTRUCT NEW SINGLE STOREY FLAT ROOF EXTENSION	8 PENDWYALLT ROAD, WHITCHURCH, CARDIFF, CF14 7EG	54	True	Permission be granted	24/09/2019
19/02062/DCH	30/07/2019	Davies	SINGLE STOREY REAR EXTENSION	3 ST JOHN'S CRESCENT, WHITCHURCH, CARDIFF, CF14 7AF	36	True	Permission be granted	04/09/2019
19/02018/DCH	30/07/2019	Bryce	DEMOLITION OF EXISTING GARAGE TO SIDE OF PROPERTY, ERECTION OF SINGLE STOREY SIDE EXTENSION ALONG WITH SINGLE STOREY REAR EXTENSION TO REPLACE EXISTING CONSERVATORY	9 GLAS HEULOG, WHITCHURCH, CARDIFF, CF14 1LD	38	True	Permission be granted	06/09/2019
19/01346/DCH	13/08/2019	Mrs Kim Reid	CERTIFICATE OF LAWFULNESS APPLICATION FOR A CONSERVATORY	39 FORELAND ROAD, WHITCHURCH, CARDIFF, CF14 7AR	28	True	Permission be granted	10/09/2019
19/02247/DCH	13/08/2019	Parry-Jones	REAR GROUND FLOOR KITCHEN & LOUNGE EXTENSION	10 HEOL DOLWEN, WHITCHURCH, CARDIFF, CF14 1RX	36	True	Permission be granted	18/09/2019
19/02244/DCH	14/08/2019	Renwick	SINGLE STOREY EXTENSION TO REAR OF PROPERTY	15 NORMAN ROAD, WHITCHURCH, CARDIFF, CF14 1PS	30	True	Permission be granted	13/09/2019
19/02323/DCH	22/08/2019	Kuginna-Evans	SINGLE STOREY INFILL EXTENSION BETWEEN TWO EXISTING REAR EXTENSIONS. REMOVAL OF FLAT ROOFS AND CONSTRUCTION OF SLOPING ROOF WITH GLAZED CANOPY AREA	17 LITTLE MILL, WHITCHURCH, CARDIFF, CF14 1LS	36	True	Permission be granted	27/09/2019
19/02556/DCH	19/09/2019	MILLER	INCLUSION OF WINDOW TO PROPOSED FRONT GABLE AS APPROVED UNDER 18/02145/DCH	5 PLAS TREODA, WHITCHURCH, CARDIFF, CF14 1PT	7	True	Permission be granted	26/09/2019

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19/01218/MNR	26/04/2019	Baynham	CONSTRUCTION OF SINGLE STOREY SIDE EXTENSIONS, FRONT PORCH AND DETACHED PRAYER ROOM	AINON BAPTIST CHURCH, MARKET STREET, TONGWYNLAIS, CARDIFF, CF15 7NS	140	False	Permission be granted	13/09/2019
19/02036/MNR	19/07/2019	Davies	VARIATION OF CONDITION 4 OF 18/02233/MNR TO VARY THE HOURS OF OPENING ON MONDAY, TUESDAY AND FRIDAY FROM 09:00 - 18:00 TO 09:00 - 20:00	62A LON-Y-CELYN, WHITCHURCH, CARDIFF, CF14 7BW	62	False	Permission be granted	19/09/2019

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